

ADDENDUM NUMBER 2

DATE: May 4, 2018

TO: Prospective Bidders

This Addendum forms a part of the previously issued documents and modifies the Bidding Documents dated **April 9, 2018, Addendum #01 dates April 25, 2018** with amendments and additions noted below. Where addendum items below modify a portion of the Bidding Documents, the remainder of the Bidding Document remains unchanged.

ACKNOWLEDGE RECEIPT OF THIS ADDENDUM IN THE SPACE PROVIDED IN THE BID FORM. FAILURE TO DO SO MAY DISQUALIFY THE BIDDER.

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T-201.2 - BASEMENT PLAN -C- DWT NEW WORK
T-202.1 - FIRST FLOOR PLAN - A/B - DWT NEW WORK

CHANGES TO THE PROJECT MANUAL

00 01 10 TABLE OF CONTENTS

A. Replace Section in its entirety (attached)

00 01 15 LIST OF DRAWINGS

A. Replace Section in its entirety (attached)

SECTION - 00 11 13 ADVERTISEMENT FOR BIDS

- a. Revise “Sealed bids will be received until 2:00 p.m. on May 11th, 2018” to “Sealed bids will be received until 2:00 p.m. on May 16th, 2018”.
- b. Add “A second pre-bid conference will be held by on Thursday, May 10th, 2018 at 3:00 pm – 4.00 pm at 198 Dr Samuel McCree Way (George M. Forbes- School 4), Rochester, NY.”

00 11 13 ADVERTISEMENT FOR BIDS

- c. Paragraph 3.4 Definitions of Contract Milestones, Add sub-paragraph “A. Rough-in: As determined by the Owner, Architect and Construction Manager; All Mechanical, Electrical, Plumbing and Fire Protection construction rough in components completed and tested including but not limited to layout, pipe, conduit, wire, boxes, valves, risers, security, communications, fire alarm, building energy management, bracing, testing per the contract documents so as to allow for uninterrupted progress of interior gypsum wallboard, ceiling suspension system and finish work construction”.
- d. Paragraph 3.4 Definitions of Dry-in, Add sub-paragraph “B. Rough-in: As determined by the Owner, Architect and Construction Manager (see milestone schedule); All required work shall be completed sufficiently (including permanent or temporary roof (in place of permanent roof)) to keep out wind, rain, snow or the weather in general, thus assuring that weather-sensitive materials or work can begin indoors without those materials suffering weather damage”.
- e. Paragraph 3.5 Milestone Schedule, Add Milestone Schedule “Addition Portion of Building - Dry-In (All floors, between column lines 1-5 and A-D, including penthouse) completed by 11/30/18”.

SECTION - 01 10 00 SUMMARY OF WORK

- a. Paragraph 1.03 Work Covered by Contract Documents, Paragraph B; “Add: Addendum #01, dated 04/25/18 and Addendum #02, dated 05/04/18.”
- b. Paragraph 1.06 Work Sequence, sub-paragraph D; “Add: Entire construction durations.”
- c. Paragraph 1.11 Scope of Work – All Contracts, Paragraph A – Division 00 Procurement and Contracting Requirements, 5 – 00 25 00 Hazardous Material Information Coversheet; “Add: General Trades Work Contract #1 shall provide all Work, complete, as specified in this Specification Section.”
- d. Paragraph 1.11 Scope of Work – All Contracts, Paragraph A – Division 00 Procurement and Contracting Requirements, 6 - Hazardous Material Information Attachments; “Add: General Trades Work Contract #1 shall provide all Work, complete, as specified in this Specification Section.”
- e. Paragraph 1.11 Scope of Work – All Contracts, Paragraph A – Division 00 Procurement and Contracting Requirements, 7 - Hazardous Material Information Attachments; “Add: General Trades Work Contract #1 shall provide all Work, complete, as specified in this Specification Section.”
- f. Paragraph 1.11 Scope of Work – All Contracts, Paragraph A – Division 00 Procurement and Contracting Requirements, “Add: 34; 00 91 11 Addendum Number 1.”
- g. Paragraph 1.11 Scope of Work – All Contracts, Paragraph A – Division 00 Procurement and Contracting Requirements, “Add: 35; 00 91 11A Addendum Number 2.”
- h. Paragraph 1.11 Scope of Work – All Contracts, Paragraph C – Additional Notes to All Contractors, “Add: 36; All Prime Contractors shall be responsible to provide lockable storage room or container for custody of all Owner Furnished items.”
- i. Paragraph 1.11 Scope of Work – All Contracts, Paragraph C – Additional Notes to All Contractors, “Add: 37; All Prime Contractors shall be responsible for cutting and patching of wall for all items called out for demolition or new installation and located within the wall space or access needed.”

- j. Paragraph 1.11 Scope of Work – All Contracts, Paragraph C – Additional Notes to All Contractors, “Add: 38; All Prime Contractors shall be responsible for painting and/or touch up for work items that has been completed after final coat of painting.”
- k. Paragraph 1.11 Scope of Work – All Contracts, Paragraph C – Additional Notes to All Contractors, “Add: 39; General Trades Work Contract #1 and Mechanical Work Contract #3 to coordinate duct work installation prior to closing off chase areas. Mechanical Work Contract #3 to install, test and insulate ductwork on a timely fashion without affecting project schedule.”
- l. Paragraph 1.11 Scope of Work – All Contracts, Paragraph C – Additional Notes to All Contractors, “Add: 40; All Prime Contractors shall be responsible to provide access openings for completion of their scope of work, including cutting, patching and finishes.”
- m. Paragraph 1.11 Scope of Work – All Contracts, Paragraph C – Additional Notes to All Contractors, “Add: 41; All Prime Contractors shall be responsible to review entire documents and request information on Owner supplied equipment minimum twenty (20) working days prior to rough-in or installation.”
- n. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 4 “02 41 19.03 Selective Demolition – Item#d “Add “disposal” to paragraph”.
- o. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph17 “04 43 13 Anchored Stone Masonry Veneer – delete specification at its entirety”.
- p. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 29 “06 20 23 Interior Architectural Woodwork – delete specification at its entirety”.
- q. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 32 “07 13 26 Foundation Waterproofing – delete specification at its entirety”.
- r. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 37 “07 21 29 Sprayed Acoustical Insulation – add specification at its entirety”.
- s. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 35 “07 18 00 Traffic Coatings – delete specification at its entirety”.
- t. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 54 “08 25 50 Aluminum Flush Doors and Aluminum Framing – delete specification at its entirety”.
- u. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 59 “08 41 13 Aluminum-Framed Entrances and Storefronts – delete specification at its entirety”.
- v. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 59 “08 51 23 Steel Windows – delete specification at its entirety”.
- w. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 64 “08 71 01 Door Schedule – add specification at its entirety”.
- x. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 59 “08 72 00 Seals and Saddles – delete specification at its entirety”.

- y. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 79 “ 09 68 00 Carpeting – add specification at its entirety”.
- z. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 95 “ 10 28 14 Hand Dryers – add specification at its entirety”.
- aa. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 126 Other Work of General Trades Work Contract#1 “ cc: Add - Damages to flooring shall be repaired or replaced to the satisfaction of Owner or Architect by **General Trades Work Contract #1** with no additional cost to Owner”.
- bb. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 126 Other Work of General Trades Work Contract#1 “ tt: Add - **General Trades Work Contract #1** shall be responsible for final cleaning of curtain”.
- cc. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 126 Other Work of General Trades Work Contract#1 “ vv: Add - **General Trades Work Contract #1** shall be responsible for cutting ceilings (all types) and provide stud framing to allow installation of others work, including owner furnished and installed items”.
- dd. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 126 Other Work of General Trades Work Contract#1 “ ww: Add - General Trades Work Contract #1 shall be responsible for cutting gym padding to accommodate others work. All edges shall be finished with similar materiel. General Trades Work Contract #1 shall be responsible for coordinating with other trades”.
- ee. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 126 Other Work of General Trades Work Contract#1 “ xx: Add - In order to meet the Substantial Completion dates and milestone dates, General Trades Work Contract #1 shall include cost for early strength concrete and winter conditions for all work in the contractor’s bid; no special consideration will be given to contractor that fails to include said costs in his/her bid”.
- ff. Paragraph 1.11 Scope of Work – All Contracts, Paragraph D – Scope of Work – General Trades Work Contract#1, sub-paragraph 126 Other Work of General Trades Work Contract#1 “ yy: Add - As part of Allowance#01, **General Trades Work Contract #1** shall be responsible for full cost of Submittal Exchange for twenty (20) months as of Notice to Proceed (NTP). Contact Submittal Exchange at 515-631-6538, shay.acheson@oracle.com to verify cost ”.
- gg. Paragraph 1.11 Scope of Work – All Contracts, Paragraph E – Scope of Work – Plumbing Work Contract#2, sub-paragraph 4 “02 41 19.03 Selective Demolition – add: connecting piping system to create loops to maintain operational integrity of system”.
- hh. Paragraph 1.11 Scope of Work – All Contracts, Paragraph E – Scope of Work – Plumbing Work Contract#2, sub-paragraph 13 “09 91 13 Exterior Painting – add specification at its entirety”.
- ii. Paragraph 1.11 Scope of Work – All Contracts, Paragraph E – Scope of Work – Plumbing Work Contract#2, sub-paragraph 14 “09 91 23 Interior Painting – add specification at its entirety”.

- jj. Paragraph 1.11 Scope of Work – All Contracts, Paragraph E – Scope of Work – Plumbing Work Contract#2, sub-paragraph 17 “21 05 00 Common Work Results for Fire Suppression – delete specification at its entirety”.
- kk. Paragraph 1.11 Scope of Work – All Contracts, Paragraph F – Scope of Work – Mechanical Work Contract #3, sub-paragraph 13 “09 91 13 Exterior Painting – add specification at its entirety”.
- ll. Paragraph 1.11 Scope of Work – All Contracts, Paragraph F – Scope of Work – Mechanical Work Contract #3, sub-paragraph 14 “09 91 23 Interior Painting – add specification at its entirety”.
- mm. Paragraph 1.11 Scope of Work – All Contracts, Paragraph F – Scope of Work – Mechanical Work Contract #3, sub-paragraph 21 “23 05 16 Expansion Loops – add specification at its entirety”.
- nn. Paragraph 1.11 Scope of Work – All Contracts, Paragraph F – Scope of Work – Mechanical Work Contract #3, sub-paragraph 25 “23 05 48 Vibration Isolation of Mechanical Systems – add specification at its entirety”.
- oo. Paragraph 1.11 Scope of Work – All Contracts, Paragraph F – Scope of Work – Mechanical Work Contract #3, sub-paragraph 52 - Other Work of Mechanical Work Contract #3 “ r: Add - **Mechanical Work Contract #3** is specifically forewarned to refer entire project documents and provide all support/framing as required for Wind Restraint structures, including above or below of roof decking or structure”.
- pp. Paragraph 1.11 Scope of Work – All Contracts, Paragraph G – Scope of Work – Electrical Work Contract #4, sub-paragraph 14 “09 91 13 Exterior Painting – add specification at its entirety”.
- qq. Paragraph 1.11 Scope of Work – All Contracts, Paragraph G – Scope of Work – Electrical Work Contract #4, sub-paragraph 15 “09 91 23 Interior Painting – add specification at its entirety”.

SECTION - 01 29 76 PROGRESS PAYMENT PROCEDUERS

- a. Paragraph 1.03 Payments, Add sub-paragraph “2. All applications for partial or final payment associated with Smart Schools Investment Plan items shall be in separate payment applications and forms furnished by the Owner and CM. In addition, Contractor must provide back-up documents and invoices upon request of Owner and CM.

SECTION 01 31 13 – CONTRACT COORDINATION

- a. Paragraph 3.00 Coordination Drawings, Change Mechanical Work Contract#5 to Mechanical Work Contract#3.

SECTION 01 32 19 – SUBMITTAL PROCEDURES

- a. Paragraph 2.01 Submittals, Delete reference to “Procore”.

SECTION 01 74 19 – CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL

- a. Paragraph 3.2 Salvaging Demolition Waste, Sub-Paragraph C, Item #04 Salvaged Items for Owner's Use “ add; ware house or auction facility”.
- b. Paragraph 3.2 Salvaging Demolition Waste, Sub-Paragraph C, Item #06 List of Salvaged items for Owner's use “add following items”.
 - a. All interior classroom door hardware to be turned over to Owner.
 - b. Kitchen Equipment: Separate by type and size as selected by Owner.
 - c. Kitchen Equipment: Three (3) bay sink (transport to warehouse).

- d. Kitchen Equipment: 2x hand sinks (transport to warehouse).
- e. Kitchen Equipment: 2x milk cooler (transport to Hudson Ave for auction).
- f. Kitchen Equipment: Serving line (transport to Hudson Ave for auction).
- g. Kitchen Equipment: 3 warmers (transport to Hudson Ave for auction).
- h. Kitchen Equipment: Refrigerator (transport to warehouse).
- i. Electrical Devices: Separate switches, receptacles, switchgear, transformers, meters, panel boards, circuit breakers, and other devices by type.
- j. District Wide Technology Equipment (This includes, but is not limited to): Interactive whiteboard (IWBs), Projectors, Wireless Application Protocol (WAPs) equipment, Power over Ethernet equipment (PoEs), Servers (NVR for CCTV (need to maintain for construction), Core, Network etc.), Data closet equipment such as UPS's/racks, Internet Protocol CCTV cameras (need to maintain for construction), Analog CCTV cameras, Intrusion detection (need to maintain for construction), Access control (need to maintain for construction) and fire alarm control panel (FACP) (need to maintain for construction).
- k. Miscellaneous Items: Marble bust of G. Washington (to be reused).
- l. Miscellaneous Items: Marble bust of A. Lincoln (to be reused).
- m. Miscellaneous Items: Original hardwood bench in nurse suite (to be reused).
- n. Miscellaneous Items: Two (2) vending machines (to be reused).
- o. Miscellaneous Items: Swinging blackboard panels.

SECTION 04 42 00 EXTERIOR STONE CLADDING

A. Replace Paragraph 2.01 with the following:

"2.01 STONE

A. Limestone: Dimensional Stone; complying with ASTM C568.

1. Type: II

2. Surface Texture: Honed.

3. Physical Characteristics:

a. Density: min. 144 lb/ft³

b. Absorption by weight: max. 7.5%

c. Compressive Strength: min. 4,000 psi

d. Modulus of Rupture: min. 700 psi min.

e. Abrasion Resistance: min. hardness of 6

4. Color: To be selected by architect from supplier's full range of samples."

SECTION 05 12 00 STRUCTURAL STEEL FRAMING

A. Paragraph 1.6 C, replace with the following:

C. Paint Compatibility Certificates: From manufacturers of topcoats applied over shop primers, certifying that shop primers are compatible with topcoats and fireproofing.

B. Paragraph 2.4 A, replace with the following:

- A. Standard Primer: Fabricator's standard lead- and chromate-free, nonasphaltic, rust-inhibiting primer complying with MPI#79 and compatible with topcoat and fireproofing.
- C. Paragraph 2.8 D, add the following:
 - 1. Provide primer compatible with spray applied fireproofing, confirm with fireproofing manufacturer. Only use primers on wide flange beams and columns that have been tested in accordance with ASTM E736 for compatibility with fireproofing products to achieve 80% of the manufacturer's published bond strength.

SECTION 06 20 00 FINISH CARPENTRY

- A. Paragraph 2.11, Sub-paragraph A. Replace 1 and 2 with "1. Basis of Design: Corian by Dupont. 2. Hi-Macs by LG"

SECTION 08 63 00 METAL FRAMED SKYLIGHTS

- A. Paragraph 2.1 Manufacturers Replace Subparagraph A with the following:
 - A. Basis-of-Design Product: Subject to compliance with requirements, provide Wasco; Lean-To Pinnacle 350 System - Glass 350 LTG or comparable product by one of the following:
 - 1. Bristolite Skylights.
 - 2. CPI Daylighting, Inc.
- B. Paragraph 2.4 Glazing, Replace Subparagraph A, with the following:
 - A. Glazing: Basis of Design: Advance Glazing Technologies by 'Wasco': ID: #2 350 System: SB70/AIR/Clr-060PVB-Clr (6mm/DSLAMI) - 1 1/16"IG.

SECTION 08 71 00 DOOR SCHEDULE

- A. Door ST-7A shall read: "DOOR NO.: ST-7A, ROOM: STAIR 7 WIDTH: VIF, HEIGHT: VIF, SINGLE/ PAIR : SINGLE, TYPE: V, MAT.: HM, FINISH: 1, GLASS: C, FIRE RATING: 60, TYPE: ETR, MAT: ETR, FINISH: PT, GLASS: ---, HARDWARE SET: 64 Comments:"

SECTION 09 65 19 RESILIENT TILE FLOORING

- a. Add "12 X 24 inches" to paragraph 2.2 sub paragraph F. size

SECTION 09 66 23 TERRAZZO FLOORING

- A. Under paragraph 2.5 Add subparagraphs:
 - "E. Nosings for Stair Treads and Landings: Extruded aluminum, with abrasive filler consisting of aluminum oxide, silicon carbide, or a combination of both, in an epoxy-resin binder.
 - 2. Fabricate nosings in sizes and configurations indicated and in uninterrupted lengths necessary for an accurate fit.
 - a. For Precast Treads and Landings: Apply clear lacquer to concealed bottoms, sides, and edges of extruded units set into precast terrazzo units.
 - 3. Available Manufacturers and Products:
 - a. Wooster Products Inc. Type 128 with Time Saver Anchor.
 - b. Balco Inc.
 - 4. Nosings: Square-back units, 1-7/8 inches wide with 1-1/8 lip, for casting into terrazzo steps.
 - 5. Provide anchors welded to underside of nosing for embedding units in.

F. Precast Wall Base Units: Precast epoxy terrazzo cove base units, 3/8 inch thick, with 3/4 inch radius cove; cast in maximum lengths possible, but not more than 48 inches.

6. Configuration: As selected by the Architect from full range of manufacturer's standard units.
7. Height: 4 inches
8. Outside Corner Units: With finished returned edges at outside corner.
9. Colors and Patterns: As selected by Architect from manufacturer's full range.

G. Toe Strips for Precast Wall Base: L-type or T-type strips to fit cove base units in depth required for topping thickness indicated.

10. Material: To match divider strips.
11. Top Width: To match divider strips.

H. Precast Flat Tread Units: Thin-set, precast epoxy terrazzo base units with cast-in nosing.

12. Size and Configuration: As indicated on Drawings.
13. Flat Tread Units: 1/2 inch thick epoxy, with abrasive pattern consisting of 2 lines of abrasive strips.
14. Colors and Patterns: As selected by Architect from manufacturer's full range."

SECTION 09 68 00 RESILIENT TILE FLOORING

Correct paragraph 2.02 CARPET sub paragraph A, bullet point 1. To read "Product: Everywear Plus manufactured by Mannington Commercial."

SECTION 12 48 13 ENTRANCE FLOOR MATS AND FRAMES

- A. Paragraph 2.2, C add "6. Location: Existing entrances.
- B. After 2.2 Add Paragraph as follows:

"2.2.1 FLOOR GRIDS

- A. Model and Description - "G1 Pedigrid"- by 'Construction Specialties'. Or approved equal. Construction shall consist of extruded 6105-T5 aluminum alloy tread rails joined mechanically by extruded 6106-T6 aluminum alloy key lock bars. (welding or bolting shall not be permitted.) Rail finish and color to be selected by architect from manufacturer's available finish and color options.
- B. Grid frames: DP – Deep Pit Series w/ Drain Pan Frame shall be 4-3/16" (106.4mm) deep with 1/2" (12.7mm) exposed surfaces in 6063-T5 aluminum alloy. These assemblies shall rest upon a continuous vinyl cushion with additional support members @ 32" on center maximum. At every 24" (0.61m) along the support member, staggered side to side, is a 6063-T5 aluminum alloy adjustable support leg. A 16 gauge aluminum pan complete with a 2" I.P.S. drain and stainless steel strainer to be provided by manufacturer. A 2" pipe and drain trap shall be furnished under the plumbing contract. Frame color shall be supplied in mill (standard) or one of 9 optional colors as offered by manufacturer. Note: Mill finish frames in contact with wet concrete to be primer coated.

C. Tread Inserts: Carpet shall meet CRI standard for good indoor air quality. Fibers shall include a minimum of 100, 12 mil monofilament fibers per square inch. Available in one of 21 standard colors as offered by manufacturer. Each carpet fiber and monofilament shall be fusion-bonded to a rigid two-ply backing to prevent fraying and supplied in continuous splice-free lengths. Anti-static carpet fibers shall contain antimicrobial additive and be treated with Scotchgard® to reduce soiling. Carpet weight shall be 33-oz./yd².”

SECTION 11 66 23 GYMNASIUM EQUIPMENT

A. Insert “1.2 SUMMARY

A. Section Includes:

4. Stationary, wall mounted basketball backstop”

B. Insert “ 2.6 WALL MOUNTED STATIONARY BACKSTOP

A. Type: Stationary, wall mounted basketball backstop; Model EZ Fold SW as manufactured by Draper, Inc.

B. Distance from face of backboard to supporting wall: (2) Units - 3 Feet
 (1) Unit - 7 Feet

C. Support framework: Backstop mounted to wall at four fixed points with two welded, adjustable, rectangular side frames constructed from 2-1/2 inches diameter, 13 gage outer tube and 2-1/4 inches diameter, 14 gage inner tube.

1. Extension adjustment: Plus or minus 6 inches.
2. Wall anchor plates: 1/4 inch thick steel plates.
3. Cross braces: 1-1/2 inches diameter, 11 gage steel tubes.
4. Diagonal support chains: Two 1/4 inch welded link chains with leveling turnbuckles.

D. Wall pads: Provide 2 by 8 inches southern yellow pine pads with chamfered edges and clear polyurethane finish for support frame [and chain] attachment points.”

C. Insert: “3. 1 INSTALLATION

- F. Install basketball backstops in accordance with approved shop drawings and manufacturer's instructions.
- G. Install backstops, backboards, and goals plumb, level, and rigid. Attach to wall framing with anchors of size and type recommended by manufacturer.
- H. Install backboards such that goal is 10 feet above court floor. After installing, verify that mounting height is correct.”

SECTION 23 31 00 - SHEET METAL AND DUCTWORK ACCESSORIES CONSTRUCTION

a. Add the following to Exhibit A:

<u>SERVICE</u>	<u>MATERIAL</u>	<u>SPECIAL REQUIREMENTS</u>
Double wall ductwork	Pre-manufactured galvanized steel, double wall, 3 in. insulation between walls, solid inner liner with thickness per SMACNA, outer duct one gauge heavier. McGill Airflow LLC, or similar.	Ductmate joints, seal Class A, and outdoor duct sealant applied per spec, watertight construction.

SECTION 27 41 17 – VIDEO SYSTEM

- A. Section 1.5.B. Delete phrase "(Addendum Item 6-25)" from 1, 2, 5, 7, 12
- B. Section 1.5.B. item 6. Add phrase "and Rear projection HO LCD projectors".
- C. Section 1.5.B. item 8 (Cabling between equipment). Revise phrase "by District Wide Technology Contractor" to be "Electrical Contractor"
- D. Section 1.5.B. item 10. Revise phrase "Projection screens" to be "Motorized projection screens"

CHANGES TO THE DRAWINGS

SKA-06 - PARTIAL 2ND FLOOR PLAN

- A. Replace text "RVCT" with VCT1, VCT3, VCT4" in the finish tags, for both rooms 221 and 217

D-100 DEMOLITION NOTES

- A. General demolition note 7, shall read "7. PLUMBING, ELECTRICAL, AND/ OR MECHANICAL SYSTEMS INDICATED FOR REMOVAL ON PLANS SHALL BE REMOVED PER DETAIL. PATCH AND/OR REPAIR ADJACENT SURFACES AND PREPARE FOR NEW FINISH."
- B. General demolition note 9 shall read "9. REFER TO ARCHITECTURE CORRIDOR ELEVATIONS AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION/ PATCHING WORK."
- C. Add General Demolition note 11 "11. REMOVE EXISTING PLASTIC ROOM SIGNAGE THROUGH OUT THE ENTIRE BUILDING, IN ITS ENTIRETY. SIGNAGE CAN BE FOUND AT EACH INTERIOR ROOM ENTRANCE DOOR FRAME, TYPICALLY ON CORRIDOR SIDE."
- D. Add General Demolition note 12 "12. EXISTING WINDOW TRIM TO REMAIN, SALVAGE WD TRIM AT WINDOW UNITS TO BE REMOVED FOR REINSTALLATION".
- E. Demolition Keynote F02 shall read "F02 REMOVE EXISTING FINISH FLOOR (BATTELSHIP OR VCT) COMPLETELY, INCLUDING MASTIC AND WALL BASE. PREPARE FLOOR/ WALL FOR NEW FINISH."
- F. Demolition Keynote M02 shall read "M02 COMPLETELY REMOVE EXISTING CUBBIE MILLWORK AND BUILT IN BOOK CASES IN THEIR ENTIRETY. INCLUDING HARDWARE, HINGES, HANGERS, SHELVING AND WOOD TRIM. PREPARE OPENING FOR NEW INSTALLATION"
- G. Add Demolition Keynote M04 "M04 COMPLETELY REMOVE EXISTING CUBBIE MILLWORK AND BUILT IN BOOK CASES IN THEIR ENTIRETY. INCLUDING HARDWARE, HINGES, HANGERS, SHELVING AND WOOD TRIM. ADDITIONALLY, REMOVE WALL ABOVE, AND PREPARE FOR NEW WORK."
- H. Add Demolition Keynote S12 "S12 REMOVE EXISTING WINDOW GLAZING ON SHASH WERE EXISTING GLAZING IS BROKEN. PREPARE FOR RE-GLAZING."
- I. Add Demolition Keynote W14 "W14 REMOVE EXISTING WALL HUNG TOILET ACCESSORIES AND WALL FINISH, PREPARE WALL(S) FOR NEW FINISH."
- J. Add Demolition Keynote W15 "W15 REMOVE EXISTING WALL MOUNTED BUILT-INS IN THEIR ENTIRETY, PREPARE ADJACENT SURFACES FOR NEW FINISH."
- K. Add Demolition Keynote F09 "F09 REMOVE EXISTING FLOOR TILE, AND AT GRADE LEVEL REMOVE EXISTING WALK OFF MAT/ FRAME IN THEIR ENTIRETY, PREPARE FOR NEW FINISH AND WALK OFF MAT INSTALLATION."

- L. Add Demolition Keynote F10 “F10 THROUGH OUT STAIR TOWER (ALL RUNS) REMOVE EXISTING STAIR TREAD/ RISER FINISH, PREPARE EXISTING CONCRETE STAIR TREADS FOR NEW FINISH, REFER TO I-100’S, PREPARE RISERS FOR PAINT.”
- M. Add Demolition Keynote C02 “C02 REMOVE EXISTING CEILING SYSTEMS COMPLETELY. REMOVE ALL EXISTING SYSTEMS IN CEILING INCLUDING BUT NOT LIMITED TO SOFFITS, BULKHEADS, LIGHTING FIXTURES, CAMERAS, SMOKE DETECTORS, SPEAKERS, MECHANICAL RETURN GRILLES AND DIFFUSERS, ECT.”

D-101 KEYPLAN- BASEMENT DEMOLITION PLAN

- A. General demolition note 7, shall read “7. PLUMBING, ELECTRICAL, AND/ OR MECHANICAL SYSTEMS INDICATED FOR REMOVAL ON PLANS SHALL BE REMOVED PER DETAIL. PATCH AND/OR REPAIR ADJACENT SURFACES AND PREPARE FOR NEW FINISH.”
- B. General demolition note 9 shall read “9. REFER TO ARCHITECTURE CORRIDOR ELEVATIONS AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION/ PATCHING WORK.”
- C. Add General Demolition note 11 “11. REMOVE EXISTING PLASTIC ROOM SIGNAGE THROUGH OUT THE ENTIRE BUILDING, IN ITS ENTIRETY. SIGNAGE CAN BE FOUND AT EACH INTERIOR ROOM ENTRANCE DOOR FRAME, TYPICALLY ON CORRIDOR SIDE.”
- D. Add General Demolition note 12 “12. EXISTING WINDOW TRIM TO REMAIN, SALVAGE WD TRIM AT WINDOW UNITS TO BE REMOVED FOR REINSTALLATION”.
- E. Change to retain door frame ST-7A, demolish door leaf and hardware.

D-101.1 BASEMENT DEMOLITION PLAN

- A. Add Demolition Keynote “F09” and “F10” to Stair 3 Rm 3
- B. Add Room label to Stair room west of STORAGE RM 4 label to read “STAIR 4A”
- C. Add demolition keynotes “F08” to RM 35 STORAGE ROOM

D-101.2 BASEMENT DEMOLITION PLAN

- A. Add Demolition keynote “C02” to RM 1 Computer Lab
- B. Add Demolition keynote “W15” to RM 1 Computer Lab and RM 2 7TH GRADE CLASSROOM
- C. Add Room label to Stair room west of STORAGE RM 4 label to read “STAIR 4A”
- D. Add Demolition keynote “F09” and “F10” to Stair 4A, and to Stair 5
- E. Replace Demolition keynote “C01” with “C02” in CORRIDOR RM 49
- F. Remove double drinking fountain indicator and all keynote references to, including S03. Water fountain has been removed from the existing conditions.
- G. Remove Demolition Keynote “C01” from room 2B STORAGE ROOM
- H. Add Demolition Keynote “W15” to room 2B STORAGE ROOM
- I. Change to retain door frame ST-7A, demolish door leaf and hardware.
- J. Revise per sketch SKA-09

D-102 KEYPLAN- FIRST FLOOR DEMOLITION PLAN

- A. General demolition note 7, shall read “7. PLUMBING, ELECTRICAL, AND/ OR MECHANICAL SYSTEMS INDICATED FOR REMOVAL ON PLANS SHALL BE REMOVED PER DETAIL. PATCH AND/OR REPAIR ADJACENT SURFACES AND PREPARE FOR NEW FINISH.”
- B. General demolition note 9 shall read “9. REFER TO ARCHITECTURE CORRIDOR ELEVATIONS AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION/ PATCHING WORK.”

- C. Add General Demolition note 11 “11. REMOVE EXISTING PLASTIC ROOM SIGNAGE THROUGH OUT THE ENTIRE BUILDING, IN ITS ENTIRETY. SIGNAGE CAN BE FOUND AT EACH INTERIOR ROOM ENTRANCE DOOR FRAME, TYPICALLY ON CORRIDOR SIDE.”
- D. Add General Demolition note 12 “12. EXISTING WINDOW TRIM TO REMAIN, SALVAGE WD TRIM AT WINDOW UNITS TO BE REMOVED FOR REINSTALLATION”.

D-102.1 FIRST FLOOR DEMOLITION PLAN

- A. Add Demolition keynotes “C01”, “F08”, “W11”, AND “W15” TO RM 127 LIBRARIAN
- B. Add Demolition keynotes “C01”, “W15”, “F08” TO RM 128 LIBRARIAN
- C. Add Demolition keynotes “C01”, “F08” TO RM 111 OFFICE
- D. Add Demolition keynote “F03” to TOILET ROOM 125
- E. Add Demolition keynote “F09” To both landings, add Demolition keynote “F10” in RM 4 STAIR #4
- F. Replace demolition keynotes “C01” with “C02” in RM1C-2 CORRIDOR
- G. Add demolition keynote “C02” to rooms:
 - a. RM 114 GIRLS TOILET
 - b. RM 105 BOYS TOILET
- H. Revised per attached sketch SKA-08

D-102.2 FIRST FLOOR DEMOLITION PLAN

- A. Add key note “C01” to rooms:
 - i. WAITING ROOM 100-H
 - ii. TOILET 100-E
 - iii. ASSISTANT PRINCIPAL 100-B
 - iv. PRINCIPAL 100-C
- B. Add Demolition keynote “F09” To both landings, add demolition key note “F10” in RM #5 STAIR #5, and RM #1 STAIR #1.
- C. Add note to RM 6 STAIR #4, note to read “UPON ACCEPTANCE OF ALTERNATE 5A- DEMOLISH EXISTING 12”X12” MARBLE TILE, VCT STAIR TREADS COMPLETELY, AND PREPARE FOR NEW FINISH. RETAIN EXISTING WALKOFF GRATE/MAT. ALTERNATIVELY, IF ALTERNATE 5A NOT ACCEPTED- RETAIN FINISH COORDINATE WITH NEW PARTITION CONSTRUCTION AND PROTECT FOR THE DURATION OF THE WORK. REFER TO I-100’S”
- D. Add room label to room/stair north of 5th-8th GRADE SPECIAL ED 8:1:2, room label to read “STAIR #6 RM 115A”
- E. Add Demolition keynote “F09” to STAIR #6 RM 115A
- F. Add Demolition keynote “M01” to ROOM 119 PARENT LIAISON
- G. Replace demolition keynotes “C01” with “C02” in RMS:
 - i. RM 6 STAIR #4
 - ii. RM 1C-2 CORRIDOR
- H. Revised per attached sketches SKA-08 and SKA-09

D-103 KEYPLAN- SECOND FLOOR DEMOLITION PLAN

- A. General demolition note 7, shall read “7. PLUMBING, ELECTRICAL, AND/ OR MECHANICAL SYSTEMS INDICATED FOR REMOVAL ON PLANS SHALL BE REMOVED PER DETAIL. PATCH AND/OR REPAIR ADJACENT SURFACES AND PREPARE FOR NEW FINISH.”
- B. General demolition note 9 shall read “9. REFER TO ARCHITECTURE CORRIDOR ELEVATIONS AND MEP DRAWINGS FOR ADDITIONAL DEMOLITION/ PATCHING WORK.”

- C. Add General Demolition note 11 “11. REMOVE EXISTING PLASTIC ROOM SIGNAGE THROUGH OUT THE ENTIRE BUILDING, IN ITS ENTIRETY. SIGNAGE CAN BE FOUND AT EACH INTERIOR ROOM ENTRANCE DOOR FRAME, TYPICALLY ON CORRIDOR SIDE.”
 - D. Add General Demolition note 12 “12. EXISTING WINDOW TRIM TO REMAIN, SALVAGE WD TRIM AT WINDOW UNITS TO BE REMOVED FOR REINSTALLATION”.
- D-103.1 SECOND FLOOR DEMOLITION PLAN
- A. Add demolition key notes “F09” to both landings, and “F10” in STAIR 4 RM 4.
 - B. Add Room label at corridor between FACULTY ROOM RM 217 AND 3RD GRADE CLASSROOM RM 212, label shall read “CORRIDOR 2”
 - C. Add demolition “C02” and “F02” in CORRIDOR, and in CORRIDOR 2
 - D. Add demolition keynote “C02” to rooms:
 - a. RM 246 GIRLS TOILET
 - b. RM 202 BOYS TOILET
 - c. GIRLS TOILET (room south of 8TH GRADE CLASSROOM RM 226)
 - E. Add demolition keynote “F03” to GIRLS TOILET (room south of 8TH GRADE CLASSROOM RM 226)
 - F. Revised per attached sketch SKA-08
- D-103.2 SECOND FLOOR DEMOLITION PLAN
- A. Add Room label to South West stair tower- Room between RM 216 and RM 200, label shall read “STAIR #1 RM 1”
 - B. Add demolition key notes “F09” to both landings, and “F10” in STAIR 5 RM 5, and in Stair #1 RM 1
 - C. Replace demolition keynotes “C01” with “C02” in CORRIDOR
 - D. Revised per sketches SKA-08 and SKA-09
- D-400 GYMATORIUM DEMOLITION REFLECTED CEILING PLAN
- A. Replace gymatorium demolition key note “G08” with “G05” typical in all 10 locations.
- A-101.2 BASEMENT PLAN
- A. Add window tag ‘W18’ to rescue window to be replaced in Art Room #4 (also referenced on drawing A-604 attached).
- A-102 KEYPLAN- FIRST FLOOR
- A. Rename room 107 Spec. Ed (12:1:1) to read “FLEX CLASSROOM PRE-K – 3RD RM #107”
- A-102.1 FIRST FLOOR PLAN
- A. Rename room 107 Spec. Ed (12:1:1) to read “FLEX CLASSROOM PRE-K – 3RD RM #107”
 - B. Add four (4) 4’x4’ acoustical wall panels to the north wall of Rm 112 INSTRUMENTAL MUSIC/ DRAMA CLASSROOM, and five (5) 1’-6” x 4’ acoustical wall panels to the south wall.
 - C. Add four (4) 4’x4’ acoustical wall panels to the north wall of Rm 111 MUSIC CLASSROOM, and four (4) 1’-6” x 4’ acoustical wall panels to the south wall.
 - D. Revise per attached sketch SKA-10
- A-102.2 FIRST FLOOR PLAN
- A. Rename room 107 Spec. Ed (12:1:1) to read “FLEX CLASSROOM PRE-K – 3RD RM #107”
- A-103 KEYPLAN- SECOND FLOOR
- A. Rename Rooms:
 - a. Rm 224 to read “4-6 GRADE CLASSROOM RM”
 - b. Rm 231 to read “ 4-6 GRADE CLASSROOM”

- c. Rm 232 to read “RESOURCE ROOM”
- d. Rm 233 to read “1-3 GRADE CLASSROOM”
- e. Rm 206 to read “1-3 GRADE CLASSROOM”

A-103.1 SECOND FLOOR PLAN

- A. Rename rooms:
 - a. Rm 224 to read “4-6 GRADE CLASSROOM RM”
 - b. Rm 206 to read “1-3 GRADE CLASSROOM”
- B. Revise per attached sketch SKA-10

A-103.2 SECOND FLOOR PLAN

- A. Rename rooms:
 - a. Rm 231 to read “ 4-6 GRADE CLASSROOM”
 - b. Rm 232 to read “RESOURCE ROOM”
 - c. Rm 233 to read “1-3 GRADE CLASSROOM”
 - d. Rm 206 to read “1-3 GRADE CLASSROOM”

A-250 BUILDING SECTION

- A. Correct note “ PROVIDE 2 HR SPRAY ON FIRE PROTECTION @ STRUCTURAL STEEL BEAMS, TYP.” To read “PROVIDE 1 HR SPRAY ON FIRE PROTECTION @ STRUCTURAL STEEL BEAMS, APPLY SPRAY ON ACOUSTICAL INSULATION ON UNDERSIDE OF NEW ROOF DECK, TYP.”
- B. Correct Note: “ PENTHOUSE EXTERIOR WALL ASSEMBLY:” To read “PENTHOUSE EXTERIOR WALL ASSEMBLY: -CORRUGATED METAL WALL PANELS – 1 ½” RIGID INSULATION (R-7.5) -AIR AND VAPOR BARRIER – 5/8” EXTERIOR GLASS MAT GYP BOARD SHEATHING – 6” MTL STUDS @ 16” O.C. MAX. WITH R-13 MIN. FIBERGLASS BATT INSULATION -5/8” GWB”
- C. Add additional note to deck between 2nd floor and penthouse, note shall read “APPLY SPRAY ON ACOUSTICAL INSULATION AT UNDERSIDE OF NEW DECK, TYP.”

A-251 BUILDING SECTION

- A. Correct note “ PROVIDE 1 HR SPRAY ON FIRE PROTECTION @ STRUCTURAL STEEL BEAMS, TYP.” To read “PROVIDE 1 HR SPRAY ON FIRE PROTECTION @ STRUCTURAL STEEL BEAMS, APPLY SPRAY ON ACOUSTICAL INSULATION ON UNDERSIDE OF NEW ROOF DECK, TYP.”
- B. Correct Note: “ PENTHOUSE EXTERIOR WALL ASSEMBLY:” To read “PENTHOUSE EXTERIOR WALL ASSEMBLY: -CORRUGATED METAL WALL PANELS – 1 ½” RIGID INSULATION (R-7.5) -AIR AND VAPOR BARRIER – 5/8” EXTERIOR GLASS MAT GYP BOARD SHEATHING – 6” MTL STUDS @ 16” O.C. MAX. WITH R-13 MIN. FIBERGLASS BATT INSULATION -5/8” GWB”

A-300 STAIR 4 PLANS AND SECTIONS

- A. Revise per attached drawing.

A-302 LOADING DOCK ENLARGES PLANS AND SECTIONS

- A. Revise per attached drawing.

A-401 BASEMENT- REFLECTED CEILING PLAN

- A. Change elevation of soffit between CORRIDOR A and COMPUTER CLASSROOM RM 3, to “8'-0” AFF”
- B. Change elevation of soffit between CORRIDOR A and ART ROOM RM 4, to “8'-0” AFF”

A-525 SECTION DETAILS

- A. Add attached drawing.

A-526 STAIR AND SECTION DETAILS

- A. Add attached drawing

A-600 TYPICAL CLASSROOM PLANS AND ELEVATIONS

- A. Add general note 4 “ 4. See A-600 FOR TYPICAL MOUNTING HEIGHTS.”
- B. Add general note 5 “ 5. PATCH/ REPAIR FLOOR/ DECK/ WALL SURFACE AND PREPARE FOR NEW FINISH. REFER TO MEP DEMOLITION DRAWINGS FOR ADDITIONAL DETAIL.”
- C. Add general note 6 “6 SHEET A-600 IS REFERS TO PATCHING AND TYPICAL EQUIPMENT/ SYSTEMS FOR ALL ROOMS, ALL NOTES ARE APPLIED TYPICALLY THROUGH OUT THE BUILDING, UNLESS OTHERWISE SPECIFIED.”

A-601 TYP. K/PRE K RM. & RESTORATION RM. PLANS & ELEVATIONS

- A. Add general note 4 “ 4. See A-600 FOR TYPICAL MOUNTING HEIGHTS.”
- B. Add general note 5 “ 5. PATCH/ REPAIR FLOOR/ DECK/ WALL SURFACE AND PREPARE FOR NEW FINISH. REFER TO MEP DEMOLITION DRAWINGS FOR ADDITIONAL DETAIL.”
- C. Add general note 6 “6 SHEET A-600 IS REFERS TO PATCHING AND TYPICAL EQUIPMENT/ SYSTEMS FOR ALL ROOMS, ALL NOTES ARE APPLIED TYPICALLY THROUGH OUT THE BUILDING, UNLESS OTHERWISE SPECIFIED.”

A-602 MAKERSPACE CLASSROOM PLANS AND ELEVATIONS

- A. Add general note 4 “ 4. See A-600 FOR TYPICAL MOUNTING HEIGHTS.”
- B. Add general note 5 “ 5. PATCH/ REPAIR FLOOR/ DECK/ WALL SURFACE AND PREPARE FOR NEW FINISH. REFER TO MEP DEMOLITION DRAWINGS FOR ADDITIONAL DETAIL.”
- C. Add general note 6 “6 SHEET A-600 IS REFERS TO PATCHING AND TYPICAL EQUIPMENT/ SYSTEMS FOR ALL ROOMS, ALL NOTES ARE APPLIED TYPICALLY THROUGH OUT THE BUILDING, UNLESS OTHERWISE SPECIFIED.”

A-603 OT/PT & NURSES SUITE PLANS AND SECTIONS

- A. Add general note 4 “ 4. See A-600 FOR TYPICAL MOUNTING HEIGHTS.”
- B. Add general note 5 “ 5. PATCH/ REPAIR FLOOR/ DECK/ WALL SURFACE AND PREPARE FOR NEW FINISH. REFER TO MEP DEMOLITION DRAWINGS FOR ADDITIONAL DETAIL.”
- C. Add general note 6 “6 SHEET A-600 IS REFERS TO PATCHING AND TYPICAL EQUIPMENT/ SYSTEMS FOR ALL ROOMS, ALL NOTES ARE APPLIED TYPICALLY THROUGH OUT THE BUILDING, UNLESS OTHERWISE SPECIFIED.”

A-604 ART & COMPUTER RM. PLANS AND ELEVATIONS

- A. Add attached drawing

A-605 SPED. LIFE SKILLS PLANS AND ELEVATIONS

- A. Add attached drawing

A-606 LIBRARY PLANS AND ELEVATIONS

- A. Add attached drawing

A-612 GYMATORIUM ELEVATIONS

- A. Note “ACOUSTICAL HANGING BAFFLES” on 1/A612 shall read “ACOUSTICAL HANGING BAFFLES TO ALIGN WITH LENSES OF CEILING MOUNTED LIGHT FIXTURE, COORDINATE WITH ELECTRICAL, REFER TO A404 FOR BAFFLE LOCATIONS AND QUANTITIES”

A-700 ENLARGED PLANS & DETAILS

- A. Revise per drawing

A-711 MILLWORK SCHEDULE

A. Revise per drawing

A-803 DOOR, WINDOW & FRAME TYPES

A. Correct remark "3/A803" to read "15/A-805" in remarks column in the window schedule, typical of all 5 locations.

B. Add window type 'W18' per attached sketch SKA-10

I-101 BASEMENT FLOOR FINISH PLAN

A. Correct CORRIDOR A finish tag to read: "EX CL. \CWT: 18" at wall finish location

B. Correct CORRIDOR A finish tag to read: "EX CL.\CWT 18" at base finish location

C. Revise per attached sketch SKA07

I-102 FIRST FLOOR FINISH PLAN

A. Correct finish tag of Rm 116 RECEIVING to indicate "D.P/ PT" at wall finish

B. Correct finish tag of Rm 126 ESOL to indicate "VCT 9" at floor finish

C. Correct finish tag of Rm 102 1-3 GRADE CLASSROOM J. PERKINS MEMORIAL ROOM to indicate "VCT 10" at floor finish.

D. Correct finish tag of Rm 105A GYM VESTIBULE to indicate "VCT 8" at floor finish.

E. Correct finish tag of Rm 118 PROPS STORAGE to indicate "VCT 8" at floor finish

F. Correct finish tag of Rm 108B CUSTODIAN OFFICE to indicate "VCT 8" at floor finish

G. Correct finish tag of Rm 105E GYM/ AUD STORAGE to indicate "VCT 8" at floor finish

H. Correct finish tag of Rm 128 DATA CL. To indicate "SHEAT" at wall finish

I. Correct finish tag of Rm COR C CORRIDOR C to indicate "VCT 8|7|6|5"

J. Revise per attached sketch SKA07

I-103 SECOND FLOOR FINISH PLAN

A. Revise per attached sketch SKA-07

I-104 PENTHOUSE FINISH PLAN

A. Revise per attached sketch SKA-07

I-600 MURAL WALL ELEVATION

A. Revise per attached drawing

M-001 - SCHEDULES - HVAC

a. Revise per attached sketch SKM-03.

b. Revise the Remark column associated with Packaged Air Cooled Helical Chiller Schedule to read as "1,2" for both rows, CH-1 and CH-2.

c. Add Remark "2." to read as follows: PROVIDE FACTORY VIBRATION ISOLATION DEFLECTION (QTY. OF 4 PER CHILLER).

M-002 - SCHEDULES - HVAC

d. Revise the following columns associated with MAKEUP AIR HANDLING UNIT SCHEDULE - GAS

i. Gas Furnace - Gas - Input Cap. units to read "(MBH)"

ii. Gas Furnace - Gas - Output Cap. units to read "(MBH)"

M-003 - SCHEDULES - HVAC

a. Revise the following columns associated with VAV - SINGLE DUCT - AIR TERMINAL UNIT SCHEDULE - HOT WATER REHEAT, associated with line VAV-12A:

i. Max Air Flow (cfm) to read as "325"

ii. Min Air Flow (cfm) to read as "300"

iii. Min Inlet Press at Max cfm (In. WC) to read as "0.07"

iv. Inlet Size (In.) to read as "7"

v. Max Rad N.C. at 1" S.P. to read as "18"

- vi. Max Disch N.C. at 1" S.P. to read as "15"
- vii. Reheat Coil - Capacity (mbh) to read as "9.4"
- viii. Reheat Coil - Air Side - Heating Air Flow (cfm) to read as "300"
- ix. Reheat Coil - Air Side - L.A.T. (Deg F.) to read as "88.9"
- x. Reheat Coil - Air Side - P.D. (In. WC) to read as "0.03"
- xi. Reheat Coil - Water Side - Flow (gpm) to read as "0.6"
- xii. Reheat Coil - Water Side - P.D. (FT HD) to read as "0.23"
- xiii. Reheat Coil - Water Side - L.W.T. (Deg F.) to read as "149.1"

M-004 - SCHEDULES - HVAC

- a. Revise POINTS LIST, row HWP-5/6/7/8 to read as "HWP-5/6/7/8/9".

MD-101.1 - PARTIAL BASEMENT DEMOLITION PLAN - HVAC

- a. Add "REMOVE" to the beginning of Demolition Note 3, ahead of the word "DUCT".

M-101.1 - PARTIAL BASEMENT DUCTWORK PLAN - HVAC

- a. Revise per attached sketch SKM-02.

M-101.2 - PARTIAL BASEMENT DUCTWORK PLAN - HVAC

- a. Revise exhaust grille tag type to read as "B" in JC 8A.

M-102.1 - PARTIAL FIRST FLOOR DUCTWORK PLAN - HVAC

- a. Revise drawing note 2 in note block to read: ROUTE 16x14 SUPPLY/RETURN DUCTWORK UP IN CHASE.

M-102.2 - PARTIAL FIRST FLOOR DUCTWORK PLAN - HVAC

- a. Add drawing note 10 to note block to read: WELD ALL SEAMS ON THE RETURN AIR DUCTWORK SYSTEM ROUTED THROUGH THE TOILET ROOM.
- b. Add drawing note callout "10" associated with 24x12 return ductwork in Boys 106.
- c. Revise return grille tag CFM to read as "750" in Library 129.
- d. Revise return duct size to read as "14x10" for branch return ductwork serving Library 129.

M-103.1 - PARTIAL SECOND FLOOR DUCTWORK PLAN - HVAC

- a. Revise exhaust duct size to read as "12" for exhaust ductwork serving SPEC. ED (12:1:1)

M-103.2 - PARTIAL SECOND FLOOR DUCTWORK PLAN - HVAC

- a. Add drawing note 30 to note block to read: WELD ALL SEAMS ON THE RETURN AIR DUCTWORK SYSTEM ROUTED THROUGH THE TOILET ROOM.
- b. Add drawing note callout "30" associated with 26x12 return ductwork in GIRLS TOILET 204.
- c. Add drawing note callout "30" associated with 20x14 return ductwork in BOYS TOILET 228.
- d. Add drawing note callout "14" associated with fire damper in 22x22 return ductwork at wall penetration in STAIRS 9C.
- e. Add drawing note callout "14" associated with fire damper in 22x22 return ductwork at wall penetration in TEACHERS CONFERENCE ROOM 227.

M-104.1 - PARTIAL ROOF PLAN - HVAC

- a. Revise drawing note 2 in note block to read: ROUTE KITCHEN HOOD MAKEUP AIR RISER DOWN THRU ROOF TO CHASE BELOW. PROVIDE ROOF CURB, COORDINATE FINAL LOCATION WITH STRUCTURAL STEEL FRAMED OPENING FOR WIND RESTRAINT CONNECTION.
- b. Revise drawing note 3 in note block to read: ROUTE COMBUSTION AIR DUCTWORK DOWN THRU BOILER ROOM ROOF. PROVIDE ROOF CURB, COORDINATE FINAL LOCATION WITH STRUCTURAL STEEL FRAMED OPENING FOR WIND RESTRAINT CONNECTION.
- c. Add drawing note 13 in note block to read: INSULATE EXISTING ROOF DUCTWORK TO REMAIN.
- d. Remove drawing note callout "3" associated with MAU-1.
- e. Revise drawing note callout associated with text note 42x16 DN to read as "3".

M-105.1 - PARTIAL BASEMENT PIPING PLAN - HVAC

- a. Revise all 1/2" piping to 3/4".

M-105.2 - PARTIAL BASEMENT PIPING PLAN - HVAC

- a. Revise all 1/2" piping to 3/4".

M-106.1 - PARTIAL FIRST FLOOR PIPING PLAN - HVAC

- a. Revise all 1/2" piping to 3/4".
- b. Replace drawing in its entirety with attached.

M-106.2 - PARTIAL FIRST FLOOR PIPING PLAN - HVAC

- a. Revise all 1/2" piping to 3/4".
- b. Revise drawing note 2 in note block to read: PROVIDE BARE ELEMENT FIN RADIATION AND ASSOCIATED PIPING BEHIND ARCHITECTURAL CASEWORK. INSULATE ALL PIPING WITHIN ARCHITECTURAL CASEWORK. REFER TO ARCHITECTURAL PLANS FOR ASSOCIATED DETAILS.
- c. Revise the location of the (2) carbon dioxide sensors in Gymnasium 105. Both carbon dioxide sensors shall be mounted on the face of the stage near the stairs with a guard.

M-107.1 - PARTIAL SECOND FLOOR PIPING PLAN - HVAC

- a. Revise all 1/2" piping to 3/4".
- b. Revise drawing note 2 in note block to read: PROVIDE BARE ELEMENT FIN RADIATION AND ASSOCIATED PIPING BEHIND ARCHITECTURAL CASEWORK. INSULATE ALL PIPING WITHIN ARCHITECTURAL CASEWORK. REFER TO ARCHITECTURAL PLANS FOR ASSOCIATED DETAILS.
- c. Refer to attached sketch SKM-04.

M-107.2 - PARTIAL SECOND FLOOR PIPING PLAN - HVAC

- a. Revise all 1/2" piping to 3/4".
- b. Revise drawing note 2 in note block to read: PROVIDE BARE ELEMENT FIN RADIATION AND ASSOCIATED PIPING BEHIND ARCHITECTURAL CASEWORK. INSULATE ALL PIPING WITHIN ARCHITECTURAL CASEWORK. REFER TO ARCHITECTURAL PLANS FOR ASSOCIATED DETAILS.

- c. Add text note to read "3/4" DN" at piping from RCP-1 down in utility chase at Boys Toilet 228 exterior wall.
 - d. Refer to attached sketch SKM-05.
- M-301 - ENLARGED BASEMENT BOILER ROOM PLANS - HVAC
- a. Replace drawing in its entirety with attached.
- M-302 - ENLARGED PENTHOUSE MECH. ROOM DUCTWORK PLAN - HVAC
- a. Revise drawing note 5 in note block to read: INTERLOCK OPERATION OF MD WITH EF-7.
 - b. Revise text note "AAD" associated with 32x24 exhaust air ductwork to read as "MD".
 - c. Revise text note "AAD" associated with 38x34 outside air ductwork to read as "MD".
 - d. Add motorized damper symbol at exterior wall penetration of 183x48x36 relief air plenum.
 - e. Add motorized damper symbol at exterior wall penetration of 29'-10"x2'-8"x12'-0" outside air intake plenum.
- M-303 - ENLARGED PENTHOUSE MECH. ROOM PIPING PLAN - HVAC
- a. Add drawing note 10 in note block to read: PROVIDE DRAIN TAP WITH ISOLATION VALVE AT BOTTOM OF CHILLED WATER DROP TO REMOTE EVAPORATOR. TYPICAL OF FOUR (4).
 - b. Add drawing note callout "10" at the bottom of 2 1/2" & 5" chilled water drops to remote evaporators in Mechanical Penthouse 300.
- M-401 - PIPING SCHEMATICS - HVAC
- a. Replace drawing in its entirety with attached.
- E-101.1 - BASEMENT PLAN A/B - LIGHTING
- a. Replace drawing in its entirety.
- E-101.2- BASEMENT PLAN C- LIGHTING
- a. Replace drawing in its entirety.
- E-102.1 - FIRST FLOOR PLAN A/B - LIGHTING
- a. Replace drawing in its entirety.
- E-102.2- FIRST FLOOR PLAN C- LIGHTING
- a. Replace drawing in its entirety.
- E-103.1 - SECOND FLOOR PLAN A/B - LIGHTING
- a. Replace drawing in its entirety.
- E-103.2- SECOND FLOOR PLAN C- LIGHTING
- a. Replace drawing in its entirety.
- E-201.1 - BASEMENT PLAN A/B - POWER AND SS
- a. Replace drawing in its entirety.
- E-201.2- BASEMENT PLAN C- POWER AND SS
- a. Replace drawing in its entirety.
- E-202.1 - FIRST FLOOR PLAN A/B - POWER AND SS
- a. Replace drawing in its entirety.
- E-202.2- FIRST FLOOR PLAN C- POWER AND SS
- a. Replace drawing in its entirety.
- E-203.1 - SECOND FLOOR PLAN A/B - POWER AND SS

- a. Replace drawing in its entirety.
- E-203.2- SECOND FLOOR PLAN C- POWER AND SS
 - a. Replace drawing in its entirety.
- E-204- ROOF PLAN - ELECTRICAL
 - a. Replace drawing in its entirety.
- E-205- PENTHOUSE PLAN - ELECTRICAL
 - a. Replace drawing in its entirety.
- E-302- FIRST FLOOR PLAN SECURITY
 - a. Replace drawing in its entirety.
- E-303- SECOND FLOOR PLAN SECURITY
 - a. Revise panelboard designation at all circuits LEDP-EQ to LEEQB-1.
- ED-102.1- FIRST FLOOR DEMOLITION PLAN - LIGHTING
 - a. Replace drawing in its entirety.
- ED-102.3- FIRST FLOOR DEMOLITION PLAN - POWER AND SS
 - a. Replace drawing in its entirety.
- E-501- RISER DIAGRAM ELECTRICAL
 - a. At all transformers on the riser diagram, excluding the utility transformer: Provide transformers as noted and specified. Provide grounding per specifications for transformers. Refer to plans for locations.
 - b. At ATS-EQ and ATS-LS: Provide automatic transfer switches to match UL listed new generator. Provide all grounding requirements.
 - c. At generator: Provide the following: Provide two (2) generator annunciator panels; one to be located in main office and other at custodian's office. Provide signal branch circuiting to two (2) locations.
 - d. At generator: Provide start signal branch circuiting to DDC system for "Alarm" and "Run" signals.
 - e. At generator: Provide branch circuiting for panel heaters. Provide battery charger and WP GFI outlet in genset enclosure. Connect to panel LEEQB-1.
 - f. At generator: Provide branch circuiting for 208v jacket and coolant heaters. Provide 30A/2P circuit breaker in panel LEEQB-1.
 - g. At generator: Provide load shed run signaling branch circuiting.
 - h. At generator: Provide derangement alarms with silence switches at main office.
 - i. At generator: Provide generator power off switch located in generator room.
 - j. At generator: Provide generator as specified.
 - k. At Primary service feeder: Revise "RG&E primary service (2) 5" conduits in duct bank with MV cable." To be "RG&E primary service: Provide two (2) 5" conduits in duct bank and MV cable. Refer to site plan and ductbank details for additional information. Provide one (1) 1" conduit from 750KVA transformer to CT cabinet inside building to accommodate exterior meter. 1" conduit shall stub outside of transformer vault area at pad. Coordinate with RG&E. Coordinate MV cable sizes with RG&E."
 - l. Add 3rd section of panel LN1-1 at Cust. Mezz. 111. Provide dedicated feeder from panel noted above to panel LNMDP. Panel feeder shall be labeled with "I" type feeder. Provide one (1) additional 225A/3P breaker at panel LNMDP and connect to 3rd section of panel LN1-1..

E-502- RISER DIAGRAMS ELECTRICAL

- a. At Fire Alarm Riser Diagram: Add general note I. to read as follows: Provide additional spare devices as indicated: Provide ten (10) additional tamper and flow switches. Provide ten (10) additional smoke detectors. Provide ten (10) additional strobe/speaker devices. Provide fifteen (15) additional smoke dampers. Provide ten (10) additional duct-smoke detectors. Provide ten (10) additional door holders. All devices noted above shall include installation.

E-802- SCHEDULES ELECTRICAL

- a. At Electric Equipment and control Schedule: Add the following equipment: UH-8: Unit Heater-8: Located in vault storage 1. : Shall be single phase, 120V, 2#12, 1#12 EG., 3/4"C power wiring from panel to unit and from unit to equipment. Connect to panel LN1-1. Provide one (1) 20A/1P circuit breaker and manual motor starter with relay.
- b. At Electric Equipment and Control Schedule: Revise HP at CWP-2 to 3/4 in lieu of 1. Revise HP of HWP-6 and HWP-7 to 1/8 in lieu of 1/6. Revise HP of HWP-5 to 1/20 in lieu of 1/10.
- c. At Electric Equipment and control Schedule: Add the following equipment: HWP-9: Located in boiler room. Shall be single phase, 120V, 2#12, 1#12 EG., 3/4"C power wiring from panel to unit and from unit to equipment. Connect to panel LNB-1. Provide one (1) 20A/1P circuit breaker and manual motor starter with relay.
- d. At Electric Equipment and Control Schedule: Revise HP of BWP-1 and BWP-2 to be 1.5 HP in lieu of 1 HP. Revise circuit breaker to be 20A/3P. Wire to remain as is.

E-803- SCHEDULES ELECTRICAL

- a. At Panelboard Schedule: Panel LNB-1: Add nine (9) additional active 20A/1P circuit breakers. Add two (2) active 50A/2P circuit breakers.
- b. Panel CP-1: Add five (5) additional active 20A/1P circuit breakers.
- c. Panel LN1-1: Add three (3) additional active 20A/1P circuit breakers. Add two (2) active 50A/2P circuit breakers. Revise panel LN1-1 to be a three (3) section panel. 3rd section shall have two (2) 50A/2P circuit breakers and thirty eight (38) 20A/1P circuit breakers.
- d. Panel LN2-1 add two (2) 30A/2P circuit breakers and five (5) additional active 20A/1P circuit breakers.
- e. At panel LEEQB-1, CP-2: Add two (2) additional active 20A/1P circuit breakers.
- f. At panelboard LNMDP add two (2) active 40A/3P circuit breakers.

T-201.2- BASEMENT PLAN - C - DWT

- a. Replace drawing in its entirety.

T-202.1- FIRST FLOOR PLAN - A/B - DWT

- a. Replace drawing in its entirety.

ADDITIONAL CLARIFICATIONS

1. CLARIFICATION: Room names changed in architecture drawings, in the issued conformed set all drawings and disciplines will be corrected. This alteration to room names is a no cost change.

2. CLARIFICATION: Drawing E-700 DETAILS ELECTRICAL: In regards to detail "Typical Locations of Fire Alarm Devices". Do all devices need to be recess in the block wall?
Response: If the walls are existing fishable or new walls, then devices shall be recessed. If the existing walls are not fishable, then surface raceway IE. Wiremold is acceptable. Please refer to general notes on drawing E000, additional details on E700 and specifications 260501 Basic Materials and Methods for installation requirements.
3. CLARIFICATION: The EC is responsible for HO rear projectors, motorized projection screens and cabling of A/V equipment in specification section 274117.1.5.B.

END OF ADDENDUM NUMBER 2

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PD-101.2 PLUMBING PARTIAL DEMOLITION BASEMENT PLAN
PD-102 PLUMBING DEMOLITION FIRST FLOOR KEY PLAN
PD-102.1 PLUMBING PARTIAL DEMOLITION FIRST FLOOR PLAN
PD-102.2 PLUMBING PARTIAL DEMOLITION FIRST FLOOR PLAN
PD-103 PLUMBING DEMOLITION SECOND FLOOR KEY PLAN
PD-103.1 PLUMBING PARTIAL DEMOLITION SECOND FLOOR PLAN
PD-103.2 PLUMBING PARTIAL DEMOLITION SECOND FLOOR PLAN
PD-104 PLUMBING DEMOLITION ROOF PLAN
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P-100.1 UNDERSLAB PLUMBING PARTIAL FLOOR PLAN
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P-101 BASEMENT PLUMBING KEY PLAN
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P-102 FIRST FLOOR PLUMBING KEY PLAN

P-102.1 FIRST FLOOR PLUMBING PARTIAL FLOOR PLAN
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P-103.1 SECOND FLOOR PLUMBING PARTIAL FLOOR PLAN
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P-104 ROOF PLUMBING PARTIAL PLAN
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P-200 BASEMENT CONDENSATE PLAN
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FP-000 FIRE PROTECTION NOTES AND SYMBOLS
FPD-100 FIRE PROTECTION DEMOLITION BASEMENT PLAN
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FP-100 BASEMENT FIRE PROTECTION KEY PLAN
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FP-101 FIRST FLOOR FIRE PROTECTION PLAN
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M-001 SYMBOLS LIST AND SCHEDULES - HVAC
M-002 SCHEDULES - HVAC
M-003 SCHEDULES - HVAC
M-004 SCHEDULES - HVAC
MD-101 KEYPLAN - BASEMENT DEMOLITION PLAN - HVAC
MD-101.1 PARTIAL BASEMENT DEMOLITION PLAN - HVAC
MD-101.2 PARTIAL BASEMENT DEMOLITION PLAN - HVAC
MD-102 KEYPLAN - FIRST FLOOR DEMOLITION PLAN - HVAC
MD-102.1 PARTIAL FIRST FLOOR DEMOLITION PLAN - HVAC
MD-102.2 PARTIAL FIRST FLOOR DEMOLITION PLAN - HVAC
MD-103 KEYPLAN - SECOND FLOOR DEMOLITION PLAN - HVAC
MD-103.1 PARTIAL SECOND FLOOR DEMOLITION PLAN - HVAC
MD-103.2 PARTIAL SECOND FLOOR DEMOLITION PLAN - HVAC
MD-104 KEYPLAN - ROOF DEMOLITION PLAN - HVAC

MD-104.1 PARTIAL ROOF DEMOLITION PLAN - HVAC
MD-104.2 PARTIAL ROOF DEMOLITION PLAN - HVAC
M-101 KEYPLAN - BASEMENT DUCTWORK PLAN - HVAC
M-101.1 PARTIAL BASEMENT DUCTWORK PLAN - HVAC
M-101.2 PARTIAL BASEMENT DUCTWORK PLAN - HVAC
M-102 KEYPLAN - FIRST FLOOR DUCTWORK PLAN - HVAC
M-102.1 PARTIAL FIRST FLOOR DUCTWORK PLAN - HVAC
M-102.2 PARTIAL FIRST FLOOR DUCTWORK PLAN - HVAC
M-103 KEYPLAN - SECOND FLOOR DUCTWORK PLAN - HVAC
M-103.1 PARTIAL SECOND FLOOR DUCTWORK PLAN - HVAC
M-103.2 PARTIAL SECOND FLOOR DUCTWORK PLAN - HVAC
M-104 KEYPLAN - ROOF PLAN - HVAC
M-104.1 PARTIAL ROOF PLAN - HVAC
M-104.2 PARTIAL ROOF PLAN - HVAC
M-105 KEYPLAN - BASEMENT PIPING PLAN - HVAC
M-105.1 PARTIAL BASEMENT PIPING PLAN - HVAC
M-105.2 PARTIAL BASEMENT PIPING PLAN - HVAC
M-106 KEYPLAN - FIRST FLOOR PIPING PLAN - HVAC
M-106.1 PARTIAL FIRST FLOOR PIPING PLAN - HVAC
M-106.2 PARTIAL FIRST FLOOR PIPING PLAN - HVAC
M-107 KEYPLAN - SECOND FLOOR PIPING PLAN - HVAC
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M-107.2 PARTIAL SECOND FLOOR PIPING PLAN - HVAC
M-301 ENLARGED BASEMENT BOILER ROOM PLANS - HVAC
M-302 ENLARGED PENTHOUSE MECH. ROOM DUCTWORK PLAN - HVAC
M-303 ENLARGED PENTHOUSE MECH. ROOM PIPING PLAN - HVAC
M-401 PIPING SCHEMATICS - HVAC
M-501 DETAILS - HVAC
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M-503 DETAILS - HVAC
M-504 DETAILS - HVAC
M-505 DETAILS – HVAC

ELECTRICAL DRAWINGS

E-000 GENERAL NOTES AND SYMBOLS LIST
E-001 SITE PLAN - ELECTRICAL
E-002 BUILDING MOUNTED LIGHTING
ED-001 SITE DEMOLITION PLAN - ELECTRICAL
ED-101.1 BASEMENT DEMOLITION PLAN - LIGHTING
ED-101.2 BASEMENT DEMOLITION PLAN - LIGHTING
ED-101.3 BASEMENT DEMOLITION PLAN - POWER AND SS
ED-101.4 BASEMENT DEMOLITION PLAN - POWER AND SS
ED-102.1 FIRST FLOOR DEMOLITION PLAN - LIGHTING
ED-102.2 FIRST FLOOR DEMOLITION PLAN - LIGHTING
ED-102.3 FIRST FLOOR DEMOLITION PLAN - POWER AND SS
ED-102.4 FIRST FLOOR DEMOLITION PLAN - POWER AND SS
ED-103.1 SECOND FLOOR DEMOLITION PLAN - LIGHTING
ED-103.2 SECOND FLOOR DEMOLITION PLAN - LIGHTING

ED-103.3 SECOND FLOOR DEMOLITION PLAN - POWER AND SS
ED-103.4 SECOND FLOOR DEMOLITION PLAN - POWER AND SS
ED-104 ROOF DEMOLITION PLAN - ELECTRICAL
E-101.1 BASEMENT PLAN - A/B - LIGHTING
E-101.2 BASEMENT PLAN - C - LIGHTING
E-102.1 FIRST FLOOR PLAN - A/B - LIGHTING
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E-103.1 SECOND FLOOR PLAN - A/B - LIGHTING
E-103.2 SECOND FLOOR PLAN - C - LIGHTING
E-201.1 BASEMENT PLAN - A/B - POWER AND SS
E-201.2 BASEMENT PLAN - C - POWER AND SS
E-202.1 FIRST FLOOR PLAN - A/B -POWER AND SS
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E-203.1 SECOND FLOOR PLAN - A/B - POWER AND SS
E-203.2 SECOND FLOOR PLAN - C - POWER AND SS
E-204 ROOF PLAN - ELECTRICAL
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E-301 BASEMENT PLAN - SECURITY
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E-500 RISER DIAGRAMS - ELECTRICAL
E-501 RISER DIAGRAMS - ELECTRICAL
E-502 RISER DIAGRAMS - ELECTRICAL
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E-504 RISER DIAGRAMS - ELECTRICAL
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E-700 DETAILS - ELECTRICAL
E-701 DETAILS - ELECTRICAL
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E-800 SCHEDULES - ELECTRICAL
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E-802 SCHEDULES - ELECTRICAL
E-803 SCHEDULES - ELECTRICAL
E-804 SCHEDULES -ELECTRICAL

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T-000 GENERAL NOTES AND SYMBOLS LIST DWT NEW WORK
T-201.1 BASEMENT PLAN -A/B- DWT NEW WORK
T-201.2 BASEMENT PLAN -C- DWT NEW WORK
T-202.1 FIRST FLOOR PLAN - A/B - DWT NEW WORK
T-202.2 FIRST FLOOR PLAN - C - DWT NEW WORK
T-203.1 SECOND FLOOR PLAN -A/B - DWT NEW WORK
T-203.2 SECOND FLOOR FLOORPLAN -C- DWT NEW WORK
T-301 BASEMENT PLAN - DWT SECURITY
T-302 FIRST FLOOR PLAN - DWT SECURITY
T-303 SECOND FLOOR PLAN - DWT SECURITY

Rochester Schools Modernization Program – Phase 2c (School #04)
George M. Forbes- Renovation, Alterations and Addition
SED # 26-16-00-01-0-004-024
DWT SED # 26-16-00-01-7-999-020

CJS Architects
Project #1711.00
4/9/2018

T-500 RISERS - DWT NEW WORK
T-600 ENLARGED DATA CLOSETS
T-700 DETAILS - DWT NEW WORK
T-800 SCHEDULES - CCTV

All drawings dated April 9th, 2018

END SECTION 00 01 15

SECTION 00 11 13 - ADVERTISEMENT FOR BIDS

Sealed bids will be received until 2:00 p.m. on ~~May 11th, 2018~~, May 16th, 2018, at the Rochester Schools Modernization Offices at 70 Carlson Road, Suite 200, Rochester, NY 14610, by the Rochester Joint Schools Construction Board (“RJSCB” or “Owner”); Attention: Pépin Accilien, Program Director, Tel. 585-512-3822, for the RCSD George M. Forbes- School #4 (“Project”), at which time and place said bids will be publicly opened and read aloud. Questions during the bidding period must be communicated as described in Section 00 21 13 – INSTRUCTIONS TO BIDDERS.

RCSD George M. Forbes- School #4, Rochester, NY Phase 2C (“Project”) includes:

- Bid Package– Renovation, Alterations and Addition to George M. Forbes School 4.

PLEASE NOTE THAT THE PROJECT DOES NOT INCLUDE A PROJECT LABOR AGREEMENT (PLA) AS A PART OF THE PROJECT DOCUMENTS/REQUIREMENTS.

Prime Contracts are as follows:

- **General Trades Work Contract #1**
- **Plumbing Work Contract #2**
- **Mechanical Work Contract #3**
- **Electrical Work Contract #4**

The Contract Documents, including the Instruction to Bidders, Form of Contract and Bid Form, may be obtained at the following websites:

Dataflow/RSMP Project portal: www.goDataflow.com/RSMP

Dataflow Rochester Office, 320 North Goodman, Suite 200 (Village Gate), Rochester, NY 14607
(585) 271-5730 phone
(585) 271-3752 fax

Rochester Builders Exchange, 180 Linden Ave., Suite 100, Rochester, NY 14625
(585) 586-5460

McGraw Hill Construction / Dodge Reports: <http://dodge.construction.com>

Bidnet site: www.bidnet.com

Complete sets of the Bid Documents may be obtained at the office of Dataflow Rochester Office, 320 North Goodman, Suite 200 (Village Gate), Rochester, NY 14607, upon payment of a deposit of \$100 for each set made payable to the RJSCB (or if not picking up in person, add \$35 for shipping made payable to Dataflow which is non-refundable). Along with their deposit check, bidders are to provide an active email address, street address (no PO Box Numbers), phone number, fax number, and contact name. Any bidder upon returning such set in GOOD CONDITION to Dataflow Rochester Office within thirty (30) calendar days after the bid date set for the Bid opening will be refunded their deposit. No partial sets or sections of the Contract Documents will be distributed.

A second pre-bid conference will be held by on Thursday, May 10th, 2018 at 3:00 pm – 4.00 pm at 198 Dr Samuel McCree Way (George M. Forbes- School 4), Rochester, NY. Meet at the buildings main entrance. Please register via e-mail with Sunil Cheriyan, Project Executive DiMarco Group at scheriyan@dimarcogroup.com Bidders must sign in with the CM prior to entering the facility. The

Owner is required to comply with New York State's public bidding and other laws pertaining to public works, to advertise for any and all public work contracts, and to incorporate New York prevailing wage schedules or federal Davis-Bacon wage rate schedules, as applicable, into any contracts which may involve the employment of laborers, workmen or mechanics, whether or not publicly bid.

Sincerely,

Allen Williams, Chair – RJSCB
Pépin Accilien, Program Director – Savin Engineers, P.C.

By order of the Rochester Joint Schools Construction Board

SECTION 00 43 83 - MILESTONE SCHEDULE AND CRITICAL SUBMITTALS

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.
- B. Related Work Described Elsewhere:
 - 1. Agreement, Section CA, General Conditions

1.2 SUMMARY

- A. The work specified in this section includes the requirement to prepare, maintain, and update all detailed schedules as described in this section using the Critical Path Method (CPM). The CPM Schedules shall be prepared in such a manner as to permit the orderly planning, organization, and execution of the Work and be sufficiently detailed to accurately depict all the Work required by the Contract, including all Milestones as described in other sections of the Specifications, or elsewhere in the Contract Documents.

1.3 DEFINITIONS

- A. Contract Float: The number of working days between Contractor's anticipated completion date for early completion of the Work and the corresponding Contract Time.
- B. Expanded Project Schedule Update: expanded detail of a Project Schedule Update in order to further explain the construction sequence or other details.
- C. Look-Ahead Schedule: A schedule that shows planned Work over the next six weeks.
- D. Original Baseline Schedule: The first approved revision 0, Project Schedule.
- E. Guideline Schedule: The schedule included with the contract documents is intended as a guide for bidding purposes. Schedule durations may change from this schedule to depict the actual work flow, but the start, finish and milestone dates will remain the same.
- F. Preliminary Schedule: The Contractor's construction schedule showing the planned Work over the first 120 days following Notice to Proceed.
- G. Project Schedule: The Project Schedule shall represent the Contractor's best judgment and intended plan for the completion of the Work in compliance with the Contract Documents. It represents the Contractor's first schedule

covering the complete duration of Contract Time submitted for review and approval of the CM. Upon approval by the CM, the Project Schedule shall become the Original Baseline Schedule. Subsequent revisions of the Project Schedule shall be Revised Baseline Schedules.

- H. Total Float: The number of working days by which a part of the Work in the Baseline Schedule may be delayed from its early finish dates without extending the Contract Time.
- I. Project Schedule Update: The latest Baseline Schedule updated monthly to reflect actual Work performed, but not logic changes in the Baseline Schedule.
- J. Revised Baseline Schedule: The latest approved Baseline Schedule that reflects logic changes and all approved change orders.

1.4 SUBMITTALS

- A. Project Schedule: Discuss with and obtain the Construction Managers acceptance of the proposed coding, activity-numbering system, screen layout, graphics used to generate the networks and bar charts, and exceptions to the size of the network printed sheets, all prior to submitting the Project Schedule.
 - 1. Submit to the Construction Manager a Preliminary Schedule within 7 calendar days after receipt of the Notice to Proceed.
 - 2. Submit to the Construction Manager a detailed Project Schedule within 14 calendar days after receipt of the Notice to Proceed using the CPM format, and in both hard copy and electronic format.
 - 3. The Project Schedule shall supersede the Preliminary Schedule upon the Construction Manager acceptance of the Project Schedule.
 - 4. The Project Schedule shall include a written narrative that explains all Work activity durations and describes the plan and approach for meeting interim and final completion milestones. Include as a minimum all: bases and assumptions used in preparing submittals, crew sizes, equipment requirements, anticipated delivery dates, restraints, critical path activities, production rates, production and maintenance shifts, time contingencies to account for weather conditions, permits, long-lead time items, and coordination issues with Construction Manager, Owner, utilities, other contractors or other third-parties. The narrative shall discuss the Contractor's plan for management of the site (e.g., laydown, staging, traffic, etc), and buildup of trade labor.
 - 5. A meeting will be held with all prime contractors upon receipt of the individual Project schedules to coordinate each schedule into one combined Project Schedule.

6. Contractors are required to include on their Schedule of Values costs allocated for second shift, and this will align in detail with the milestone schedule which must be approved by the Construction Manager and Program Manager prior to first billing.
 7. A separate superintendent must be assigned for all 2nd shift work, and each prime contractor is required to provide a resume to be reviewed and approved by the Construction Manager and Program Manager prior to that person starting work.
 8. All prospective winning prime contractors will be required to bring to the de-scope meeting the labor hours they have estimated in their bid.
 9. Work force plan must be provided as a submittal and as a part of each prime contractor's first application for payment.
- B. Project Schedule Update and Progress Report: Submit the following on the first working day of each month, updated as of the 25th calendar day of the previous month:
1. Project Schedule Update
 2. Monthly-to-date Progress Report Comprising:
 - a. A narrative of all Work performed that includes the following.
 - b. Work completed since the last update.
 - c. Description of the current critical path, including any changes to the critical path since the last update and an identification of the reasons for the changes.
 - d. Description of problem areas.
 - e. Current and anticipated delays. Include causes thereof and impacts to other activities, milestones, and completion dates. Identify all activities where progress has slipped more than 5 working days since the last schedule update and discuss the cause of the delay or interruption.
 - f. Pending items, such as permits, change orders, and time adjustments, and status.
 3. Contract completion date status. Include the number of days ahead of, or behind all milestone dates and the contract completion date, and the reason(s) for any change(s).
- C. Submit a Project Schedule Update and month-to-date Progress Report in accordance with the foregoing requirements upon submitting any proposed Revised Baseline Schedule. Use a cut-off date for the Project Schedule Update that corresponds to the effective date for the proposed Revised Baseline Schedule.

- D. Look-Ahead Schedule: Submit the two-week look-ahead schedule at least 24 hours prior to the progress, foreman and superintendent meetings, with number of copies submitted, layout, and format acceptable to the Construction Manager.
- E. Time Impact Analysis: Submit in accordance with, and when required by the General Conditions of the Agreement.
- F. All submittals, within the time provided herein and in a form acceptable to the Construction Manager, of schedules, monthly progress reports, schedule updates, and revisions of the Project Schedule are conditions precedent for the Contractor to receive the full amount of each progress payment, less retention and other adjustments. Should the Contractor fail to submit timely, acceptable reports, schedules, updates, or revisions, the Construction Manager may withhold the amount designated in the Schedule of Values from each monthly partial payment estimate. Should the Contractor continue to fail to submit the above mentioned submittals the Construction Manager may, in addition to other retentions or remedies provided by the Contract or by applicable law, withhold 25 percent of each monthly partial payment estimate until acceptable submittals have been received.

1.5 QUALIFICATIONS

- A. The Contractor shall perform the work covered in this section with personnel having at least three (3) years experience in using computer based scheduling on construction projects of the magnitude and complexity of this project.

PART 2 - PRODUCTS (Not Used)

PART 3 – EXECUTION

3.1 SUMMARY

- A. The Schedule shall be constructed and the work performed in accordance with the milestone dates set forth and the coordinated project schedule. Any additional costs for overtime, shift work and/or additional manpower, required to maintain these milestones, will be at each Contractor's expense.

3.2 PROJECT SCHEDULE

- A. Furnish a Project Schedule and participate with the Construction Manager in its review, evaluation and coordination. Such joint review and coordination shall not relieve the Contractor of the sole responsibility for scheduling the Work. Furnish a Project Schedule demonstrating adequate planning and execution of all phases of the Work and which enables the Construction Manager to evaluate progress of the Work. Maintain such Project Schedule so that it shall, at all times, represent the Contractor's planned means, methods, and sequences for performing the Work required under this

Contract within the Contract Time specified. Show the following schedule elements in detail:

1. The start and completion of all items of the Work, their major components and milestone completion dates, including Contract milestones.
2. Mobilization
3. Submittals and approval of submittals including shop drawings, permits and steps required to obtain permits, safety plans, temporary facilities and utilities, record documents, and operators and maintenance manuals.

- a. Critical submittals shall be tracked independently and include but are not limited to the following:

00 00 00	TBD
02 41 19.03	SELECTIVE DEMOLITION
02 82 00	ASBESTOS REMOVAL
02 82 13	ASBESTOS ROOFING REMOVAL
02 83 00	WORKING WITH LEAD CONTAINING MATERIAL
03 30 00.03	CAST-IN-PLACE CONCRETE (and Rebar Shop Drawings)
03 34 13.03	CONTROLLED LOW-STRENGTH MATERIAL
03 45 00	PRECAST ARCHITECTURAL CONCRETE
04 20 00	UNIT MASONRY (and Rebar Shop Drawings)
04 42 00	EXTERIOR STONE CLADDING
04 43 01	STONE MASONRY VENEER
05 12 00	STRUCTURAL STEEL FRAMING
05 31 00	STEEL DECKING
05 50 00.03	METAL FABRICATIONS (Steel Lintels, bearing plates, misc. steel, etc.)
07 13 26	FOUNDATION WATERPROOFING
07 52 15.11	COLD ADHESIVE SBS MODIFIED ROOFING
07 53 16.13	TORCH-APPLIED SBS MODIFIED ROOFING
07 53 23	EPDM ROOFING
08 11 13	HOLLOW METAL DOORS AND FRAMES
08 43 13	ALUMINUM FRAMED STOREFRONTS
08 51 00	ALUMINIUM WINDOWS
09 2216	NON-LOAD BEARING STEEL FRAMING
11 13 19	STATIONARY DOCK LEVELER
12 35 53	PREMANUFACTURED CASEWORK
14 4216	HYDRAULIC ELEVATORS
14 4216	VERTICAL WHEELCHAIR LIFTS

14 4250	VERTICAL WHEELCHAIR LIFTS (UNENCLOSED)
21 05 00	COMMON WORK RESULTS FOR FIRE PROTECTION (SHOP DRAWING AND PRODUCT DATA)
21 13 13	WET-PIPE SPRINKLER SYSTEM
22 05 00	COMMON WORK RESULTS FOR PLUMBING (SHOP DRAWING AND PRODUCT DATA)
22 12 16	SANITARY WASTE AND VENT PIPING
22 13 19	SANITARY WASTE PIPING SPECIALTIES (Grease Interceptor)
22 14 13	FACILITY STORM DRAINAGE PIPING
22 14 29	SUMP PUMPS
22 34 00	FUEL-FIRES DOMESTIC WATER HEATERS
23 05 00	BASIC MECHANICAL REQUIREMENTS (SHOP DRAWING, COORDINATION DRAWINGS, AND PRODUCT DATA)
23 05 13	MOTORS
23 05 30	ROOF CURBS
23 05 50	WIND RESTRAINT FOR HVAC SYSTEMS
23 20 10	PIPING SYSTEMS AND ACCESSORIES
23 21 23	PUMPS
23 31 00	SHEET METAL AND DUCTWORK ACCESSORIES CONSTRUCTION
23 33 13	FIRE AND SMOKE DAMPERS
23 34 00	FANS
23 51 02	PREFABRICATED FLUE GAS VENTING SYSTEM
23 64 26.20	AIR COOLED ROTARY SCREW WATER CHILLER
23 64 30	REFRIGERANT VAPOR MONITORING SYSTEM
23 72 19	DEDICATED OUTSIDE AIR UNIT
23 74 23.16	ROOFTOP DIRECT FIRED GAS MAKE-UP AIR UNIT
23 81 26.11	DUCTLESS SPLIT SYSTEM AIR CONDITIONER
23 82 35	GRAVITY HEATING EQUIPMENT (HYDRONIC)
26 05 00	BASIC ELECTRICAL REQUIREMENTS
26 20 00	ELECTRIC DISTRIBUTION
26 27 13	ELECTRIC SERVICE
26 32 13	POWER GENERATION - GENERATORS, AUTOMATIC TRANSFER SWITCHES AND ACCESSORIES
26 50 00	LIGHTING
27 10 00	LOCAL AREA NETWORK WIRING SYSTEM

27 21 00	LOCAL AREA NETWORK SYSTEM
27 30 00	TELECOMMUNICATIONS SYSTEMS
27 32 10	IP TELECOMMUNICATIONS SYSTEM
27 41 02	CLASSROOM AMPLIFICATION SYSTEM
27 41 15	ALL-IN-ONE COMPONENT/UNIT
27 41 17	VIDEO SYSTEMS
27 41 18	AUDIO ENTRY SYSTEM
275113.30	PUBLIC ADDRESS (PA) SYSTEM (SOUND REINFORCEMENT) (GYM)
275313	SYNCHRONOUS CLOCK AND PROGRAM SYSTEMS
28 13 00	ACCESS CONTROL SYSTEM
28 16 00	INTRUSION DETECTION SYSTEM
28 23 00.20	CLOSED CIRCUIT TELEVISION SURVEILLANCE SYSTEM (DIGITAL)
28 31 02	ANALOG ADDRESSABLE FIRE ALARM SYSTEM
31 20 00	EARTHWORK
32 3113	CHAIN LINK FENCING AND GATES
32 91 15	SOIL PREPARATION
33 30 00	SANITARY SEWERAGE UTILITIES
33 40 00	STORM DRAINAGE UTILITIES

All construction activities, including the fabrication and delivery of materials or equipment incorporated into the Work, adjacent Work done by others and Work area changes.

4. The number of working days required for completion of each activity and all the Work.
 5. Commissioning, punch list and close out.
- B. The Contractor's key personnel involved in preparing the Project Schedule shall initiate and attend one or more meetings upon direction of the Construction Manager to present to, and coordinate with the other prime contractors. Personnel shall be competent and prepared to discuss:
1. The planned logic, content, form, and layout of the activity table (spreadsheet).
 2. The bar chart format.
 3. Activity identification and coding. Number the initial activity identifications (IDs) by 10s or 100s to allow for the insertion of any future required activities that enhance detail.
 4. Presentation and printouts of the Project Schedule.

-
- C. The Construction Manager will review the proposed Project Schedule and meet with the Contractor's key personnel performing the scheduling to discuss the proposed construction schedule within 21 calendar days of its submission.
- D. The Construction Manager acceptance of the Project Schedule shall not:
1. Imply that the Construction Manager has conducted an exhaustive review or evaluation of the sequencing, logic, or duration of all activities contained therein.
 2. Constitute a warranty of its feasibility, suitability, reasonableness, or completeness.
 3. Provide a basis for claims occasioned by any future revisions required in the schedule to conform to the Contract requirements.
 4. Relieve the Contractor of the sole responsibility for scheduling and performing the work.
 5. Relieve the Contractor of sole responsibility for means, methods, and techniques of construction employed.
- E. The Project Schedule initially accepted by the Construction Manager shall be designated as the Original Baseline Schedule. The accepted Original Baseline Schedule shall not be updated, revised, or changed over the Project duration, but shall be used for comparison with the current updated schedule, until a Revised Baseline Schedule is accepted by the Construction Manager.
- F. An activity shall be defined as an element of Work that is measurable and definable and that is necessary to accomplish in order to incrementally achieve progress of the Work as a whole. At any time, the Construction Manager may require additional detail to that previously provided. Float shall not be an activity.
1. Carefully analyze activities comprising the Project Schedule to determine activity durations in units of project working days. Base durations on the labor crews, crafts, equipment, and materials required to perform each activity. Unless supplemented with a detailed linear schedule to indicate production progress, split activities with durations greater than 30 working days into activities no longer than 20 working days, except for summary activities and non-construction activities such as submittal preparation and review, material procurement, and equipment delivery, or as allowed by the Construction Manager.
 2. Clearly identify the critical path on the Project Schedule.

3. Identify the following as lag activities and include full lag time associated therewith in the duration of the activity. Do not schedule negative lag time.
 - a. Start-to-start and finish-to-finish lag times greater than 1 working day.
 - b. Finish-to-start lag times greater than 1 day.
 - c. Start-to- finish lag times of any kind.

3.3 LIQUIDATED DAMAGES

- A. Critical submittals shall carry liquidated damages of the value listed in 00 72 16 General Conditions.

3.4 DEFINITIONS OF CONTRACT MILESTONES

A. ROUGH-IN:

As determined by the Owner, Architect and Construction Manager; All Mechanical, Electrical, Plumbing and Fire Protection construction rough in components completed and tested including but not limited to layout, pipe, conduit, wire, boxes, valves, risers, security, communications, fire alarm, building energy management, bracing, testing per the contract documents so as to allow for uninterrupted progress of interior gypsum wallboard, ceiling suspension system and finish work construction.

B. DRY-IN:

As determined by the Owner, Architect and Construction Manager (see milestone schedule); All required work shall be completed sufficiently (including permanent or temporary roof (in place of permanent roof)) to keep out wind, rain, snow or the weather in general, thus assuring that weather-sensitive materials or work can begin indoors without those materials suffering weather damage.

C. SUBSTANTIAL COMPLETION:

As determined by the Owner, Architect and Construction Manager, all work and systems are complete, operational, tested and ready for facility operations and certificate of occupancy. All closeout documentation required by the "Closeout Procedures," including warranties, certifications, record or 'as-built' documents, and operation and maintenance manuals, etc., must be submitted and satisfactory. Substantial Completion will not be recognized by Owner until all Closeout Documents and Submittals are received in full and are satisfactory to Owner's Representatives.

D. FINAL COMPLETION:

As determined by the Owner, Architect and Construction Manager, all punch list work is complete; and closeout documentation, warranties, certifications, record documents, and operation and maintenance manuals are approved.

3.5 MILESTONE SCHEDULE

- A. In order to meet the Substantial Completion dates, all overtime costs for extended work hours, Saturdays (and Sundays when required) must be included in the contractor's bid; no special consideration will be given to any contractor that fails to include said costs in his/her bid. Extended work days and/or hours will be required to make up lost time due to weather and other unforeseen occurrences.
- B. A guideline schedule is included in herein as an illustration setting forth goals for milestone activities for the Project and anticipated completion dates. The annexed guideline is for bidding purposes only and may be modified during the course of the Contract. Contractors must complete all Work in a coordinated manner to achieve timely completion. Failure to act in accordance with coordination requirements of the Contract shall subject the responsible Contractor to liquidated damages as specified in the General Conditions and sustained failure to perform as required may be grounds for termination of its Contract.

The following schedule reflects anticipated milestones for the Bid Period:

Notice of Award:	Week of 06/05/18
Notice To Proceed:	06/06/18

The following schedule reflects anticipated milestones before Mobilization:

“No of Days” represents the number of calendar days from the date of “Notice to Proceed”.

Prime Contractor Bonds,	
Insurances & Signed Contracts by:	No. Of Days: Five (5)
Product submittals and shop drawings schedule/log:	No. Of Days: Five (5)
Preliminary Construction Schedule by Contractors	No. Of Days: Seven (7)
List of Subcontractors (Inc. Sub Tier) Submitted by:	No. Of Days: Seven (7)
Bid Breakdown Leveling Sheets and SOV:	No. Of Days: Seven (7)
Base Line Construction Schedule by Contractors:	No. Of Days: Ten (10)

The following schedule reflects anticipated milestones for Critical Submittals:

Entire Selective Demolition/ Asbestos submittals	No. Of Days: Fourteen (14)
Entire Structural steel shop drawings	No. Of Days: Fourteen (14)
Roofing shop drawings and submittals	No. Of Days: Fourteen (14)

Hydraulic Elevators shop drawings and submittals	No. Of Days: Fourteen (14)
Vertical Wheel Chair Lifts shop drawings and submittals	No. Of Days: Fourteen (14)
Entire Building Co-Ordination Drawings Initial set	No. Of Days: Twenty (20)
Other Critical Submittals as identified	No. Of Days: Thirty (30)
All remaining submittals	No. Of Days: Forty (40)
Entire Building Co-Ordination Drawings Final set	No. Of Days: Fifty (50)

The following schedule reflects anticipated milestone dates (date task to be completed by) for the construction period. **Within the base bid cost, all primes should anticipate that double shift, premium, and second shift work will be required, including coordination with the other trades to meet the project milestone dates.** All Primes need to understand that this is a fast track project and Time is of the Essence for any and all aspects of this project.

Mobilize to Site:	07/03/18
Construction Starts:	07/05/18
Addition Portion of Building - Dry-In (All floors, between column lines 1-5 and A-D, including penthouse)	11/30/18
Punch list Completion:	08/07/19
School FF&E Move-in:	08/01/19
Substantial Completion / Certificate of Occupancy Date:	08/07/19
School Move-in:	08/19/19
School Opens:	09/03/19
Project Completion Date:	10/02/19
Warranty Period Ends:	Two years from the date of Final Payment.

END OF SECTION 00 43 83

SECTION 01 10 00 - SUMMARY OF WORK

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of Contract, including General Conditions of the Contract for Construction, Division 00 and Division 01 Specifications sections, apply to Work of this section.
- B. Section 00 73 46 Wage Rates. Davis Bacon Wage Determination updated at the time of award. Post-award changes to published New York State Prevailing Wage Rate or Davis Bacon Wage Rate shall not constitute basis for Contract Sum increase.
- C. The NYS prevailing wage rate schedule for this project can be obtained at the following WEB link:
<https://applications.labor.ny.gov/wpp/publicViewProject.do?method=showIt&id=1447815>
The Prevailing Rate Case number is PRC# 2018002616.
- D. Milestone Schedule and Critical Submittals Section 00 43 83.

1.2 DESCRIPTION OF WORK

- A. The Contractor shall submit lump sum information prices attached to Bid Form Section 00 41 16. The Work of this Project is described more completely elsewhere in the Contract Documents and compliments the following list. Contractors shall attend all meetings and comply fully with the detailed specifications and drawings that are part of this Contract. See Unit Price Section 00 43 22 for Unit Price items.
- B. The Work includes all labor, materials, equipment and transportation necessary to complete the project as specified and as indicated in the Contract Documents.
- C. In the event a Contractor (s) fails or refuses to comply with Article in this specification within a reasonable time, but not more than eight (8) hours, the Construction Manager will reserve the right to have make alternate arrangements, and all costs will be charged against the Contractor involved.

1.3 WORK COVERED BY CONTRACT DOCUMENTS

- A. Project Information
 - 1. **Project Location:** 198 Dr Samuel McCree Way, Rochester, New York 14611
 - 2. **Project Description:** The project consists of Additions, Renovation and Alterations work at the RCSD George M. Forbes School 4.

3. **Owner Identification:** Rochester Joint Schools Construction Board (RJSCB) (herein, “Owner”) as represented by its Executive Director. Owner is agent for; Rochester City School District (RCSD); and City of Rochester for purposes of the Rochester School Modernization Program (RSMP).
 4. **Program Manager Identification:** The Owner has engaged Savin Engineers P.C. as Program Manager for this Project to serve as an advisor to Owner and to provide assistance in administering the Contracts for Design and Construction between Owner and each Consultant/Contractor, according to a separate contract between Owner and Program Manager.
 5. **Construction Manager Identification:** The Owner has engaged DiMarco Constructors, as Construction Manager. The particular Construction Manager designated by contract with the Owner for that particular Project site shall serve as the Contractor’s primary contact for, and Owner’s authorized agent of, the Project with regard to that site to serve as an advisor to Owner and the Program Manager to provide assistance in administering the Contract for Construction between Owner and each Contractor, according to its separate contract with Owner.
 6. **Architect/Engineer Identification:** The Owner has engaged CJS Architects as the Architect of record. CJS Architects has engaged various professional engineers and/or consultants as part of their design team. CJS is retained under separate agreement with Owner, and shall be identified as the Architect / Engineer for the Project.
 7. **Technology Consultant Identification:** The Owner has engaged a District-wide Technology Consultant for this Project to serve as an advisor to Owner and the Program Manager to provide assistance in administering the Contract for Technology Integration and E-Rate work between Owner and Technology Contractor, according to a separate contract between Owner and Technology Consultant.
 8. **Move Manager Identification:** The Owner has engaged a Move Manager for this Project to serve as an advisor to Owner and to provide assistance in administering the Contract for move management between Owner and each Contractor, according to a separate contract between Owner and Program Manager.
 9. **Independent Cx Agent Identification:** The Owner has engaged Erdman Anthony as the Commissioning Agent for the particular Project site at issue, and shall serve as an agent of the Owner with regard to that Project site.
- B. Documents dated 04/9/2018, Addendum#01, dated 04/25/18 and Addendum#02, dated 05/04/18 prepared by CJS Architects, 54 South Union Street Rochester NY 14610.
 - C. Protection of existing utilities under the existing structures and site is considered part of this Work scope.
 - D. Work will be constructed under four (4) Prime Contracts.
 - E. Prime Contracts are separate contracts between the Owner and separate contractors, representing significant construction activities. This Prime contract is performed concurrently with and closely related to construction activities performed on the project and closely

coordinated with construction activities performed on the project under prime contracts
Prime Contracts for this project include:

1. Prime Contract: **General Trades Work Contract #1**
2. Prime Contract: **Plumbing Work Contract #2**
3. Prime Contract: **Mechanical Work Contract #3**
4. Prime Contract: **Electrical Work Contract #4**

1.4 CONTRACT METHOD

- A. Construct the Work under a Lump Sum fixed price Contract for each Prime Contract.
- B. Construction Work is being accomplished by utilizing a sequentially phased, Single Prime Contract procedure.

1.5 PRIME CONTRACT SUMMARY OF WORK

- A. The following documents are hereby defined as Contract Documents and are specifically included and defined as integral to Each Prime Contract.
 1. The Contract Documents consist of: Drawings and Specifications
 - a. List of Specifications: See Project Manual Specification Index in Table of Contents.
 - b. List of Drawings: See Project Manual Drawing Index in Table of Contents – **All Drawings included in the Project Drawing Index are integral to each Prime Contract.**
 - c. **All Contractors are hereby notified that the scopes of work contained in Specification Section 01 10 00 – Multiple Contract Summary take precedence over scope statements contained in other Specification Sections and on Drawings.**
 - d. **Information indicated on more than one drawing and in more than one specification section. Consequently, each and every Prime Contractor is responsible for all information on each and every drawing and all information within the specification books.**
 - e. Any reference to (G.C.) or General Contractor is the same Contract as General Trades Work Contract #1. There is no Prime Abatement Contractor; any reference to Abatement Contractor, (A.C) or (A.A.C) is to be referenced to General Trades Work Contract #1. There is no Prime Site Work Contractor; any reference to Site Work Contractor, (Site work) is to be referenced to General Trades Work Contract #1. There is no Prime Roofing Work Contractor; any reference to Roof Work Contractor, (Roof work) is to be referenced to General Trades Work Contract #1. There is no Prime Elevator Work Contractor;

any reference to Elevator Work Contractor, (Elevator work) is to be referenced to General Trades Work Contract #1.

1.6 WORK SEQUENCE

- A. All Work will be conducted to be complete per milestone schedule. Any Work necessary during the time of school operation must be performed in second and third shift, including weekends and holidays at no additional cost to the owner.
- B. Each Prime Contractor is responsible for providing adequate manpower and supervision as needed throughout the course of the Project to maintain the overall construction schedule and milestone dates.
- C. Work hours for building renovations shall be multiple shifts, daily as determined by Owner/Construction Manager/Architect. All work to be coordinated with and approved by the Owner, Architect and the Construction Manager. Activity and access shall be confined to the designated staging and construction areas. All exits and escape windows shall be maintained at all times. Where noise is generated and disruptive to adjoining neighborhoods the start time will be subject to local noise ordinances; no costs for compliance shall be passed onto the Owner. Contractors are subject to start and finish times of equipment in accordance with local noise ordinances and Contractors are responsible for associated costs and maintain the schedule.
- D. All additional costs for overtime, second and third shift Work, weekends and holidays required by any Contractor to ensure Work completion in accordance with the project completion dates per milestone schedule will be the responsibility of the Contractor. Service shutdowns, utility transfers, work in occupied spaces when necessary to be completed nights, weekends, holidays etc... costs shall be borne by the Contractor. Contractor shall furnish, install, service, maintain all temporary equipment, tools, supplies, etc to maintain existing building utilities and associated mechanical, electrical and plumbing equipment operational during service shutdowns, utility transfers, entire construction durations, etc.
- E. Each Bidder shall review Section 00 43 83 Schedule for milestone completion dates. Without additional cost, each Prime Contractor shall provide sufficient manpower, including extended hours, premium/multiple shift hours, week end and holiday hours to assure that the work of each Prime Contractor is substantially complete and ready for the owner's beneficial occupancy in accordance with the Milestone Project Schedule. Each Contractor shall provide sufficient resources including office and field management necessary to facilitate schedule completion.

1.7 SECURITY REQUIREMENTS

- A. Work zones and material / equipment staging zones shall remain locked at all times, except when a Worker is present to prevent unauthorized entry.

- B. All construction Workers shall be required to wear photo identification badges at all times. The Construction Manager will issue security badges to each Worker prior to the Worker entering the project site.
- C. Contractors are reminded that all Workers will be required to act in a manner consistent with a school environment. Each Contractor will be responsible to ensure that all Workers act appropriately. Any individual acting in a manner not acceptable to any school representative, the Owner or Construction Manager, will be directed to surrender his/her badge and to leave the premises immediately. The offending individual will be prohibited from future Work on this Project.
- D. The City of Rochester Police Department reserves the right to inspect any packages or deliveries throughout the course of the Project.
- E. The City of Rochester Police Department, at their discretion, reserves the right to inspect the Work areas.

1.8 PROTECTION OF NEW AND EXISTING WORK

- A. Each Contractor shall be wholly responsible for the protection of their finish Work as well as that of others.
- B. All finished surfaces shall be protected if there is any possibility of damage resulting from the Work of other trades by each respective Contractor. This includes protection of the jambs and soffits of all openings used as passageways, or through which materials will be handled.
- C. All finished surfaces, including factory finished surfaces, shall be cleaned and not marked upon delivery to the project. The Contractor shall, without extra compensation, refinish and/or replace all damaged surfaces to the satisfaction of the Architect/Engineer.
- D. The finishes sequence of all areas will be as follows:
 - 1. Prime coat and first finish coat on walls.
 - 2. Install ceiling grid, ceiling tile border (i.e., cuts and specials), and ceiling tiles required for the installation of fire alarm components, sprinkler, audio/video devices.
 - 3. Install ceiling mounted electrical devices, light fixtures, diffusers, grilles, registers, and specialties.
 - 4. Install casework, millwork, and ceramic tile.
 - 5. Install resilient flooring, carpet, toilet fixtures and accessories.
 - 6. Paint second finish coat on walls.
 - 7. Install wall base, ceiling tile, and wall-mounted electrical devices and cover plates.
 - 8. Apply final finish coat of paint to door frames after installation of FF&E.
 - 9. Contractors will use this sequence to reduce minor damages to finishes at the end of each completed phase and per each floor.

- E. Each respective Contractor shall be responsible for the protection of all existing finished surfaces, i.e., walls, doors, window and door frames, casework, jambs, soffits, etc., called out to remain. Contractors shall, without extra compensation, refinish and /or replace all existing surfaces damaged, during construction, to the satisfaction of the Architect/Engineer.
- F. Prior to any materials being stored on finished floor surfaces, the Contractor shall obtain approval from the Construction Manager. If required, the Contractor shall install a protective barrier over these finished surfaces. Wheelbarrow, carts, dollies, etc., if used in such areas, shall be non-marking rubber tires.
- G. Roof surfaces and plaster ceilings shall not be subjected to construction traffic, nor shall they be used for the storage of materials. Where activity must take place in order to carry out the Work of the Contract, the Contractor shall provide the Construction Manager with a protection plan, including but not limited to the following:
 - 1. The type of Work to be performed.
 - 2. The area where the Work will be performed.
 - 3. Traffic patterns to be used for access/egress to/from the Work area.
 - 4. Material and methods to be used as protection.
 - 5. The plan shall be submitted to the Construction Manager no less than two (2) weeks prior to performing the Work to allow time for review of the plan.
 - 6. Under no condition shall any Work take place in these areas without the Construction Manager's prior authorization. Damage to the aforementioned surfaces shall be repaired at the expense of the Contractor who is deemed responsible for such damage.
- H. Each Contractor will be responsible for monitoring, documenting and managing protection of installed products from damages, including coordinating with other trades. Unless otherwise specified, each Contractor shall be responsible for providing temporary protection of installed products from damages. Any component/system that is damaged, including but not limited to accidents or misuse resulting in scratches, dents, abrasions etc., shall be repaired back to "like new condition", otherwise the same component/equipment shall be replaced with new prior to "Substantial completion" to the satisfaction of the Consultant. This applies to all installed construction, including general, mechanical, plumbing and electrical devices, equipment and systems. Without any additional cost to Owner, restoration and replacement costs shall be paid by the installing Contractor. Each Contractor shall administer restoration and replacement costs due to the noncompliance of temporary protection, including but not limited to accidents or misuse and cost for such items will not be administrated by Owner and or Owner's representatives.

1.9 PRIME CONTRACTOR USE OF PREMISES

- A. General: The Contractors shall limit their use of the premises to the Work areas indicated in the Contract documents.
- B. Use of the Site: Limit use of the premises to Work areas indicated in the Contract documents. Confine operations to areas within Contract limits indicated. Do not disturb portions of the site beyond the areas in which the Work is indicated.
 - 1. Driveways and Entrances: At all times, keep driveways and entrances serving the premises clear and available to the Owner, Construction Manager, Architect, Contractors, the Owner's representatives and emergency vehicles. Do not use these areas for parking or storage of materials. Schedule deliveries to minimize space and time requirements for storage of materials and equipment on-site.
 - 2. Before the start of construction, Contractors will be directed to a designated staging and parking area(s) as indicated on the Site Logistics plan.
- C. Use of Existing Buildings: Maintain the existing buildings in a serviceable and weather tight condition throughout the construction period. Repair damage caused by construction operations.

1.10 COORDINATION

All PRIME Contractors shall cooperate with and coordinate with the Contractors who will, under separate Contract with the Owner provide certain labor, equipment and materials. All Contractors shall schedule their work in conjunction with the other Contractors to avoid any delays in the overall completion of the schedule. This includes assuring that the other Contractors or Suppliers have to access the building and site to properly install their equipment within the time frame of the Construction Schedule.

1.11 SCOPE OF WORK – ALL CONTRACTS

Each Contractor shall provide all labor, material, plant, tools, equipment, and supervision, including safety supervision, related to or necessarily involved with the performance of the Work, as defined in this section, as indicated **on any drawing in the Enumeration of Contract Documents**, and as described in the following sections from the Project Manual:

A. DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS

Unless otherwise specified, each contractor shall include all Work and comply with all provisions of each of the following Specification Sections, complete:

- 1. 00 01 10 Table of Contents – Project Manual
- 2. 00 01 15 List of Drawings
- 3. 00 11 13 Advertisement for Bids

4. 00 21 13 Instructions to Bidders
5. 00 25 00 Hazardous Material Information Coversheet
 - a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
6. 00 25 00A Hazardous Material Information Attachments
 - a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
7. 00 25 00B Hazardous Material Information Attachments
 - a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
 - b. The Asbestos Inspection Report, Lead Based Paint Inspection and PCB Caulking Testing Reports are included in the Contract Documents for reference only.
 - c. Each Contractor that disturbs existing building materials that contain lead paint shall take the necessary measures specified in Section 02 83 19 Removal of Lead Containing Material.
 - d. EPA has issued a rule requiring the use of lead safe practices and other actions aimed at preventing lead poisoning. Under the rule, beginning in April 2010, contractors performing renovation, repair and painting projects that disturb lead-based paint in homes, child care facilities and schools built before 1978 must be certified and must follow specific Work practices to prevent lead contamination. Information from EPA 40 CFR Part 745.8 Subpart E has been incorporated into Section 02 83 19. All Contractors are responsible for understanding and following all the requirements set forth in this regulation as it relates to their Work.
 - e. Any suspected material uncovered during construction shall be immediately reported to the Construction Manager. Removal of any material found to contain asbestos shall be only be performed by a NYSDOL licensed firm with certified Workers.
 - f. Any suspect mold uncovered during construction shall be immediately reported to the Construction Manager. Removal of any mold shall only be performed by a Contractor licensed to remediate mold.
8. 00 31 32 Geotechnical Information Report, January 2018
9. 00 31 32A Geotechnical Evaluation Information Attachment
10. 00 41 16.01 Bid Form- General Trades Work Contract #1
11. 00 41 16.02 Bid Form- Plumbing Work Contract #2
12. 00 41 16.03 Bid Form- Mechanical Work Contract #3
13. 00 41 16.04 Bid Form- Electrical Work Contract #4
14. 00 43 00 Supplements to Bid Form
15. 00 43 21 Allowances
16. 00 43 22 Unit Prices

17. 00 43 23 Alternates
18. 00 43 31 MWBE/DBE/SBE Utilization and Workforce Diversity
19. 00 43 31A Attachment to MWBE/DBE/SBE Utilization and Workforce Diversity
20. 00 43 83 Milestone Schedule
21. 00 43 93 Bid Submittal Checklist
22. 00 45 13 Statement of Bidder Qualifications
23. 00 52 12 Form of Contract
24. 00 61 13 Bonds and Certificates
25. 00 62 11 Submittal Cover Sheet
26. 00 62 11A Submittal Cover Attachment
27. 00 63 19 Request for Equivalent Review Form
28. 00 72 16 General Conditions
29. 00 73 16 Insurance Requirements
30. 00 73 16A Insurance Example
31. 00 73 20 Health and Safety Requirements
32. 00 73 46 Prevailing Wage Rates
33. 00 73 46A Prevailing Wage Rates Schedule
34. 00 91 11 Addendum Number 1
35. 00 91 11A Addendum Number 2
36. 00 95 00 Tax Exempt Letter from New York State Coversheet
37. 00 95 00A Tax Exempt Letter from New York State Attachment

B. DIVISION 01 – GENERAL REQUIREMENTS

Unless otherwise specified, Each Contractor shall include all Work and comply with all provisions of each of the following Specification Sections, complete:

1. 01 00 10 Reference Standards
2. 01 00 20 Abbreviations and Acronyms
3. 01 00 30 Definitions
4. 01 10 00 Summary of Work
5. 01 10 00A Construction Manager Office Requirements
6. 01 14 19 Use of Site
7. 01 25 00 Substitution Procedures
8. 01 25 10 RFI Form
9. 01 26 39 Field Orders
10. 01 26 43 Change Order Requests

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- a. Each Prime Contractor and their Sub-contractors are required to submit labor rate breakdown sheets for each trade within 10 days of contract award. Labor rates are to be broken out as outlined in specification section 01 26 53A. Refer to specification section 01 26 43A for cost proposal breakdown sheets to be used as backup breakdown on all cost proposals for this project. No cost proposals will be reviewed unless submitted on these forms.
 11. 01 26 43A RCSD Change Order Form with formulas
 12. 01 26 53 Labor Rate Worksheet Coversheet
 13. 01 26 53A Labor Rate Worksheet
 14. 01 29 75 Revolving Loan Program and Procedures
 15. 01 29 75A Revolving Loan Program Application
 16. 01 29 75B Revolving Loan Program Procedure
 17. 01 29 76 Progress Payment Procedures
 18. 01 29 76B Payment Application Checklist
 19. 01 29 76C Interim Waiver of Lien and Claim
 20. 01 29 76D Final Waiver of Lien and Claim
 21. 01 30 00 Construction Procedures and Controls and as further clarified:
 - a. Owner will retain the services of an independent testing laboratory for asbestos, concrete testing, compaction and gradation for the use of backfill/site fill, asphalt, fireproofing, steel and masonry testing. All other required testing associated with their scope of Work shall be the responsibility of each Prime Contractor.
 - b. The Construction Manager will receive copies of all Prime Contractors daily reports no later than noon the following Work day, listing daily activities and listing daily manpower by trade, failure to do so will result in payment applications being withheld until compliance is fulfilled.
 - c. Each Prime Contractor shall provide full time, non-Working, on-site supervision from commencement of their Work and their Subcontractors Work activities until such time all Work activities have been completed or as determined by the Construction Manager. Furnishing items for job site does not constitute the commencement of Work activities. If supervision is reduced or terminated without consent of the Construction Manager, the Construction Manager will appoint an individual to manage Work under this a Prime Contract with all associated cost borne by the Prime Contractor. The Prime Contractor shall assume all responsibilities for the individuals and Work of this Contract.
 22. 01 31 13 Contract Coordination
 23. 01 32 16 Contractor's Construction Schedule and as further clarified:
 - a. All Contractors shall have a project manager, superintendent and foreman participate in weekly work planning sessions starting Notice To Proceed and continuing through to substantial completion of their Contract. These meetings are intended to give each participating Contractor a voice in the project sequencing.

- b. All Contractors shall have a superintendent/foreman participate in “daily huddles”, which will be held from 7:00 am – 7:30 am each work day (or another time as agreed). These meetings are intended to quickly recap the Weekly Work Plan (WWP) schedules, adjust to circumstances, review the day ahead, and discuss opportunities to help each other as needed.

24.01 32 19 Submittal Procedures and as further clarified:

- a. All submittals will be uploaded to Submittal Exchange Website by the Prime Contractor to the Construction Manager, and returned through Submittal Exchange. **Refer to specification section 00 43 83, for critical submittals schedule.**

25. 01 32 26 Construction Progress Reports

26. 01 35 00 Electronic Document Transfer

27. 01 35 00A Electronic File Transfer Agreement

28. 01 35 23 Project Safety Standards, and as further clarified:

- a. Each contractor should note that it is a requirement that ALL employees of a contractor who are Working on a public project MUST have taken at least the OSHA ten (10) hour course, prior to being accepted onto the Work site. A copy of each contractor’s employee’s OSHA ten (10) hour course card will be requested, and will be kept on file with each prime contractor’s field office.
- b. Ensure employees have completed OSHA required training, including but not limited to OSHA 10/30 Construction Industry Training. Proof of additional training may be required by OSHA relative to the Contractors scope of Work.
- c. Contractor/Subcontractor tools, PPE, etc. involved in an accident/incident / near miss shall become the property of Project. Written notice of replacement is required from the respective Contractor/Subcontractor. Heavy equipment, motor vehicles, ATV’s etc. involved in an accident /incident /near miss may be required, at the sole discretion of CM, to be inspected by a qualified 3rd party provided by the affected Contractor/Subcontractor. 3rd party inspector must be approved by CM and the Contractor/Subcontractor shall bear all costs associated with any/all third-party inspections and repairs.
- d. One hundred (100) percent Ground Fault Circuit Interrupter (GFCI) use is mandatory throughout the Project. Assured grounding program cannot be used in the lieu of GFCI protection. Contractors/Subcontractors are to provide portable GFCI “pigtailed” for use with extension cords plugged into permanent/existing outlets.
- e. Unless otherwise, Contractors/Subcontractors that are working off a ladder at a height of six feet or greater shall be required to utilize a self-retracting lanyard.
- f. No wooden, metal or “job built” ladders are permitted on this project. Fiberglass ladders will be the only type of ladder allowed to be used on site.
- g. A 3rd party (non-hydraulic crane) inspection is required to be performed by the Contractors/Subcontractors and/or Operator after crane assembly at the cost of the Contractors/Subcontractors and/or Owner/Operator. 3rd party inspectors are required on any/all cranes involved in an accident, incident or near miss caused by human error or mechanical failure at the cost of the Contractor/Subcontractor

owning, operating, renting or leasing the crane at the time of the aforementioned incident.

h. All contractors must obey by NYSED Uniform Safety Standards.

29. 01 35 23A Project Safety Forms

30. 01 35 46 Indoor Air Quality Requirements

31. 01 40 00 Special Inspections

32. 01 40 00A Statement of Special Inspections and Tests Form

33. 01 50 00 Temporary Facilities & Controls, and as further clarified:

a. Temporary Utilities:

- 1) **Electrical Work Contract #4** shall provide, maintain and remove the temporary power system and construction lighting per NEC and OSHA regulations in all construction areas.
- 2) **Electrical Work Contract #4** shall provide all permits and inspections as required by the local authority having jurisdiction prior to energizing the systems. Submit a copy of the inspection certificate to the Construction Manager.
- 3) **Electrical Work Contract #4** shall provide all earthworks as required for the installation of the temporary power systems. Depth of trenches shall be as required by the NEC and as further described by these specifications.
- 4) Temporary underground feeders shall be installed direct buried in schedule 80 PVC conduits with detection tape. Conductors can be aluminum with sizes adjusted for the required ampacities.
- 5) **Electrical Work Contract #4** shall provide all grounding as required.
- 6) **Electrical Work Contract #4** shall provide, maintain and remove the temporary power and lighting as required for the duration of the project. **Electrical Work Contract #4** shall include the removal of existing temporary lighting and power provided. **Electrical Work Contract #4** shall rework and/or relocate temporary lighting and power system as required for the progress of the Work.
- 7) **Electrical Work Contract #4** shall maintain temporary fire alarm system as required for the duration of the project. This may require notifying fire department at beginning and end of work day, putting system in bypass, temporarily covering or disconnecting and reconnecting devices as necessary to perform their scope of Work. **Electrical Work Contract #4** shall include the removal of existing temporary fire alarm provided. **Electrical Work Contract #4** shall rework and/or relocate temporary fire alarm system as required for the progress of the Work.
- 8) Contractors will not be permitted to use the phone, fax and data lines of the Owner, or Construction Manager. Each Contractor shall be responsible for providing and maintaining their own phone and data services.
- 9) **Electrical Work Contract #4** shall remove all temporary power, lighting, fire alarm and security system in their entirety only after the building wiring system has been tested and energized or directed by Construction Manager. Repair

- damage caused by the installation or from the removal of the temporary systems, and restore to specified or original condition, including but not limited to the patching of all walls and ceilings to match adjacent surface/finish.
- b. All Contractors shall include provisions in their bids for temporary electric power system as follows:
- 1) Electrical Work Contract #4 shall provide power for contractor's office trailers as shown in **site logistics plan**. All costs associated with temporary electric connection shall be included in the bid.
 - 2) Each Contractor shall provide their own extension cords required for the performance of their Work. Extension cords shall be OSHA compliant.
 - 3) Connection of electric resistive heating to the temporary electrical system will not be permitted.
 - 4) Any Contractor, who requires power or lighting more than what is specified, shall bear all costs associated with same.
 - 5) Any Contractor requiring temporary power and lights to be energized outside of the normal Work hours shall bear all costs associated with same.
 - 6) Each Contractor shall provide the necessary generators to complete their Work prior to completion of temporary power.
 - 7) Temporary power and light standby requirements, before and after hours described above will be at expense of the respective Contractor who requires same.
- c. Temporary Water and as further clarified:
- 1) Each Contractor shall be responsible to ensure that the water service to their hoses is turned off at the end of each Work day. Contractors shall be responsible for all damage and/or additional water usage costs resulting from not maintaining hoses and/or leaving the water service on after hours. Each Contractor shall provide drinking water for their Workforce.
 - 2) **Plumbing Work Contract #2** shall maintain and remove temporary water lines and hose bibs in the existing building, which consists of one per floor level per stair tower. **Plumbing Work Contract #2** shall provide, maintain and remove a 1" water main extending from the existing service for temporary water connections to each floor. The hose bibs shall be located as directed by the Construction Manager. **Plumbing Work Contract #2** shall rework and/or relocate temporary water system as required for the progress of the Work.
 - 3) **Plumbing Work Contract #2** shall provide all required back flow prevention devices on the temporary water piping to protect the public water supply.
 - 4) **Plumbing Work Contract #2** shall provide the temporary water service, all required water meters and all measures required to prevent freezing of the temporary water service including but not limited to a hot box, heat tracing, etc.
- d. Temporary Heating/Ventilation/Cooling/Humidification/Dehumidification and as further clarified:
- 1) **General Trades Work Contract #1** shall provide, maintain and remove temporary heat and climate control to all work areas. **General Trades Work**

Contract #1 shall provide, maintain and remove a complete temporary heating system including but not limited to all required and natural gas piping or terminations. When directed by the Construction Manager **General Trades Work Contract #1** shall remove the temporary heat systems complete. **General Trades Work Contract #1** shall rework and/or relocate temporary heating system as required for the progress of the Work. **Electrical Work Contract #4** shall rework and/or relocate temporary heating system power as required for the progress of the Work.

- 2) **General Trades Work Contract #1** shall provide, maintain and remove temporary heating systems for existing building and Addition portion of building, including for building exterior construction. The temporary heating system shall maintain temperatures of no less than 60 degrees Fahrenheit and a constant humidity of no more than 60% all the time until project completion. **General Trades Work Contract #1** shall provide daily written reports with the temperature and humidity levels to the Construction Manager. Locations that will require recording of temperature will be identified by the Construction Manager. The system shall include proper air circulation to ensure that the required temperatures are maintained throughout all areas of the building and all the time until project completion.
 - 3) **General Trades Work Contract #1** shall submit their Heating / Ventilation / Cooling / Humidification / Dehumidification plan to Construction Manager prior to the start of Work. The plan shall include: what temporary equipment and systems will be utilized for the temporary heating; how the systems will be maintained and how the systems will be controlled. Use of the new systems and/or equipment for the temporary heat will not be allowed.
 - 4) **General Trades Work Contract #1** shall provide supplemental heating measures to facilitate their Work according to the project schedule, including the thawing of subgrades, the heating of isolated pour areas, the protection of cast-in-place concrete, etc.
 - 5) Any Subcontractor, who requires temporary heat in excess of what is specified above, shall bear all costs associated with same.
 - 6) **General Trades Work Contract #1** shall provide, maintain and remove temporary $\frac{3}{4}$ " CDX plywood and dimensional lumber enclosures at all openings as required for temporary heating and security.
 - 7) **General Trades Work Contract #1** shall provide, maintain and remove Heating/Ventilation/Cooling/Humidification/Dehumidification/Enclosures at all openings as specified or as needed and recommended by manufacture for all their scope of work and for others, specifically all finish work including maintenance of substrate conditions for finish work installation. Heating/Ventilation/Cooling/Humidification/Dehumidification/ enclosures at all openings shall be in place until permanent HVAC systems become operational to maintain integrity of installed product as required and or specified by manufacture.
- e. Temporary Fire Protection and as further clarified:
- 1) Each Contractor shall provide and maintain fire extinguishers as required by OSHA for the Work of their Contract. Contractors shall be aware that all "spark-producing" activities require a Hot Work permit (reference Project

Safety Plan for permit requirements) as well as fully charged fire extinguishers within ten (10) feet of the “spark-producing” activity. A fire watch must continue for a minimum of thirty (30) minutes after the Hot Work operation is complete.

- 2) In addition to the aforementioned, **General Trades Work Contract #1** shall provide, maintain, and remove at each floor level in visible locations, fire extinguishers throughout the building, to maintain compliance with OSHA for general distribution of fire extinguishers on a construction site. Each fire extinguisher shall be visible, clearly identified and mounted on a wall or custom stand, at 39” to 45” off of the walking/working surface. All fire extinguishers shall be rated not less than 2A, shall be provided for each 3,000 sq. ft. of area, or major fraction thereof. Travel distance from any point of the protected area to the nearest fire extinguisher shall not exceed 100 feet and at least one (1) fire extinguisher shall be located adjacent to stairways.
 - 3) All Contractors shall maintain and provide clear unobstructed access routes for emergency vehicles to access the site and work areas.
- f. Temporary Construction:
- 1) Each Contractor shall provide, maintain and remove barricades and excavation protection, including OSHA compliant access and egress, warning signs and warning lights, etc. as required for the Work of their Contract.

Each Contractor who creates a fall hazard by the installation of the Work of their Contract shall install OSHA-compliant fall protection for the safety of all construction employees. Each Contractor who removes fall protection for the installation of Work of their Contract shall immediately re-install OSHA-compliant fall protection for the safety of all construction employees. Note: Prior to removing fall protection each Contractor shall ensure alternate fall measures are available and used by their employees.

- 2) **General Trades Work Contract #1** shall provide, maintain and remove temporary toe boards at all floor openings in accordance with OSHA regulations.
- 3) **General Trades Work Contract #1** shall provide all temporary floor protection at all new and existing floor openings. The temporary floor protection shall be secured to all sides of the opening and painted orange.
- 4) **General Trades Work Contract #1** shall provide, maintain and remove all temporary enclosures necessary to close in sections of the buildings. The temporary enclosures shall be construction material that will allow the minimum temperatures 60 degrees to be established. This includes all existing building window and door openings, and both the existing and additions exterior openings. This also includes but not limited to exterior openings due to windows or other exterior material not being installed prior to winter conditions. **General Trades Work Contract #1** shall provide, maintain and remove shrink wrap temporary enclosures with dimensional lumber at windows, and any other exterior façade material at existing and addition portion of buildings as necessary to maintain 60 degree minimum temperatures and ensure the building is weather tight. **General Trades Work Contract #1** shall submit their temporary Addition portion of building enclosure plan for review by the Construction Manager prior to the start of

Work. The plan shall include: what temporary material will be utilized for the temporary enclosure and how the material will be maintained.

- 5) Any Prime Contractor who requires removal of the temporary enclosure for access to their work shall be responsible to remove and reinstall the enclosure at their own expense.
- 6) **General Trades Work Contract #1** shall provide and maintain and remove temporary water tight roof enclosures where new roof openings have been established and the equipment has not yet been installed.
- 7) **General Trades Work Contract #1** shall provide, maintain and remove temporary weather tight, secure construction entrances/doors, locations as directed by construction manager. **General Trades Work Contract #1** shall provide hardware and locks/keys as directed by Construction manager at exterior/interior of building, including storage area and construction entrances.
- 8) In addition to the temporary perimeter protection and / or barricades indicated to be provided above, each Contractor shall provide additional temporary perimeter protection, tie off points, rails, toe boards etc., as required for the Work of their Contract.
- 9) Foundation and Structural Steel Work by **General Trades Work Contract #1** shall provide an OSHA compliant two-rail cable system at the perimeter of all floor levels and openings at Gym Addition. **General Trades Work Contract #1** is responsible for safety per 29CFR 1926 OSHA Subpart R. In addition, this Contract shall provide 3 crosby clamps (or equal) on all diameter wire connection(s). Perimeter safety shall be maintained until such time the system is formally, per Subpart R guidelines, turned over to the subsequent trade. Exact height of the safety cables to be coordinated with top of deck and top of slab elevations after concrete is placed. All materials utilized for the two-cable system shall be new, no previously used material will be allowed. **General Trades Work Contract #1** shall provide turnbuckles at top and mid cable as required to facilitate maintenance of the cable system. **General Trades Work Contract #1** shall provide and maintain cable setback barricades to allow two controlled access points at each level. **General Trades Work Contract #1** shall maintain all cable systems until completion of the steel deck. **General Trades Work Contract #1** shall maintain and remove all cable system material and equipment from the site as directed by the CM, multiple removals shall be anticipated.
- 10) **General Trades Work Contract #1** shall provide, maintain and remove required number of OSHA compliant stairs for access to all floors until permeant stairs are installed. **General Trades Work Contract #1** shall provide, maintain and remove temporary stairs and railing at exterior doors, Gym stage and loading dock, until permanent stairs are installed. All temporary stairs and railing must be OSHA compliant.
- 11) **General Trades Work Contract #1** shall provide, maintain, and remove temporary railing at all stairs until permeant railing is installed. **General Trades Work Contract #1** shall provide, maintain and remove temporary stair pan infills at metal pan stairs until permanent concrete infill is provided.
- 12) If the Work of a Contractor requires the removal of temporary barricades as defined above the Contractor shall provide all Work as required to maintain an

OSHA compliant Work area and provide all Work as required to restore the temporary barricades to its original condition.

- 13) Contractors shall reference Section 01 35 23 and 01 35 23A – Project Safety Standards for additional project safety guidelines.
 - 14) **General Trades Work Contract #1** shall be responsible throughout the duration of the project to insure at the end of each work shift and day that all exterior temporary weather protections, windows and door permanent and/or temporary are intact, closed, locked, secured and weather tight. **General Trades Work Contract #1** shall designate an individual responsible for this for each work shift.
 - 15) **General Trades Work Contract #1** shall be responsible throughout the duration of the project to insure at the end of each work shift and day that all temporary fencing and gates are intact, closed, locked and secured. **General Trades Work Contract #1** shall designate an individual responsible for this for each work shift.
- g. Temporary Support Facilities:
- 1) Each Prime Contractor shall provide his or her own temporary offices and storage sheds. Each trailer must be properly secured to the ground. Quantity and location of the Contractors' field offices shall be subject to approval of the Construction Manager. Each Contractor who requires water, gas, phone, data etc., shall provide and remove at their own for their temporary offices at their sole expense.
 - 2) Each Contractor shall be responsible for providing adequate protection of their material and/or equipment furnished for this project. All deliveries of material and/or equipment will be scheduled with the Construction Manager, and specific locations with time restrictions are allocated for staging, storage trailers, materials, equipment, etc. Each Contractor shall obtain the necessary approval, permits and fees for temporary offices, if required by the authority having jurisdiction. Contractors are advised that there is minimum on-site storage space and all cost of off-site material storage, if required, shall be included in the Contractor's price. Contractors are advised that at various times during the project, storage trailers or stored materials within the building or on site may require relocation or removal as directed by the Construction Manager. If any material and/or equipment stored at the project, with or without consent of the Construction Manager at any time obstruct the performance of any portion of this project, these materials shall be removed and relocated by the Contractor at no additional cost. In the event a Contractor fails or refuses to comply with this Article within a reasonable time, but not more than eight (8) hours, the Construction Manager will reserve the right to have those materials and/or equipment removed, and all costs will be charged against the Contractor involved.
 - 3) **General Trades Work Contract #1** shall include relocating Construction Manager Office furniture, printer/copier, all furnishing and supplies for turn over to district. This shall include loading, delivery and unloading to another Rochester City School property; location will be within the City of Rochester.

- 4) **General Trades Work Contract #1** shall provide all necessary measures to prevent water and sanitary from freezing at CM Office Trailer, including but not limited to maintaining heat trace.
- 5) **General Trades Work Contract #1** shall provide all Work to maintain and remove Construction Manager Office Trailer's sanitary service lines and associated underground piping. **General Trades Work Contract #1** shall include removal and disposal of sanitary piping and all associated piping when directed by Construction Manager. This shall include removal of any underground sanitary lines to source and capping lines and site restoration.
- 6) **General Trades Work Contract #1** shall include cleaning of Construction Manager Office Trailer on a weekly basis from Notice to Proceed through Project Completion. Cleaning shall include but not limited to general broom, clean prior to washing of floors; wet mopping of all floors; cleaning and vacuuming of all walk-off mats; comprehensive cleaning of toilet facilities, cleaning of tables, desks and chairs; emptying of trash cans and removal of same to dumpster, and replacing trash can bags. **General Trades Work Contract #1** shall provide all necessary supplies required for cleaning the trailers and to keep paper towels, liquid soap, and hand sanitizer and toilet paper stocked for toilet room. **General Trades Work Contract #1** shall furnish, install and maintain walk-off mat at Construction Managers office and replace as directed.
- 7) **General Trades Work Contract #1** shall provide bottled water for water cooler on a weekly basis from Notice to Proceed until Project completion. Five reserve bottles shall be on hand at all times. Disposable cups and a sanitary dispenser shall be provided and maintained. **General Trades Work Contract #1** shall supply all washroom disposables for the duration of the project and monthly coffee from the Notice to Proceed until Project completion.
- 8) **Electrical Work Contract #4** shall provide all Work to removal of Manager Office Trailer temporary electrical service provided by **General Trades Work Contract #1**. This includes removal of all conduits and wiring back to source. This shall include site restoration as necessary.
- h. Site Logistics and as further clarified:
 - 1) Refer to Section 01 50 00A, Site Logistics Plan for site logistics plan.
 - 2) **General Trades Work Contract #1** shall furnish, install, maintain and remove all work associated with temporary 18" minimum stone and filter fabric at staging areas. **General Trades Work Contract #1** shall provide all site restoration in accordance to Civil drawings, including providing required thickness of new top soil at and hydro seeding all areas as necessary to meet landscape specifications and new grades on civil drawings. Top soil to be per specifications.
 - 3) Contractors shall provide, maintain and remove fencing and barricades as required to maintain a safe Work site when any danger is created by the Work of their Contract.
 - 4) Where Work occurs along or within the public roads or sidewalks, the Contractor shall provide temporary fencing, barricades, lighting, signage,

- shoring, road plates, flagmen, and related protection in accordance with OSHA regulations and as required for protecting the public from the Work.
- 5) **General Trades Work Contract #1** shall maintain and remove all temporary chain link fence, gates and driven posts shown on civil plans.
 - 6) **General Trades Work Contract #1** shall relocate or move and reinstall temporary chain link fencing shown on civil plan as required to complete Work of their Contract and for others as directed by Construction Manager. Site must be secured at all times until Project completion, temporary high removable chain link fence with stands and sandbags to be provided when existing temporary fence are removed to complete site work.
 - 7) **General Trades Work Contract #1** shall provide twenty five (25) locks, (10) 2' steel chains and 25 keys for temporary locks to construction manager. All locks to be keyed alike.
 - 8) In addition to temporary chain link fence shown in Logistics plan, **General Trades Work Contract #1** shall provide, maintain and remove 100 linear feet of 6' high temporary chain link fence with stands and sandbags, to be used as directed by Construction manager.
 - 9) In addition to other requirements set forth in documents, **General Trades Work Contract #1** shall provide, maintain and remove 60 linear feet of 10 feet tall wall (with or without insulation) as temporary wall, to be used as directed by Construction Manager.
 - 10) **All prime contractors** shall be responsible for sidewalk closer permits for their scope of work.
 - i. First-Aid Equipment:
 - 1) Each Contractor shall provide OSHA-compliant first-aid kits for use by their employees and their lower tier Contractor's employees.
 - j. Protection of Adjacent Property:
 - 1) Each Contractor shall prevent any damage to surrounding property and if any damage occurs the Contractor that caused the damage shall provide all necessary repairs immediately upon notification by the Construction Manager.
 - k. Temporary Material and Hoisting and as further clarified:
 - 1) Ladders: Each Contractor shall provide sufficient ladders as required to enable their employees to access the Work. The Contractor providing the ladders shall be fully responsible for OSHA compliance of the ladders.
 - 2) Hoisting – Contractors shall be responsible for all hoisting as required for the Work of their Contract.
 - l. Project Identification and Temporary Sign and as further clarified:
 - 1) **General Trades Work Contract #1** shall provide and remove twenty (20) temporary signs as per 01 50 00 and 01 10 00A requirements, locations as directed by CM. **General Trades Work Contract #1** shall provide, maintain and remove sidewalk close signs as needed and required per authorities having jurisdictions.
 - m. Collection of Disposal of Waste and as further clarified:

- 1) Dumpsters shall be provided by the **General Trades Work Contract #1** for use by all contractors.
 - 2) Each Prime Contractor is responsible for the removal and disposal of any hazardous or toxic wastes, removal must comply with any regulation governing the disposal of that waste.
 - 3) Each Prime Contractor shall be responsible for the disposal of their excavation spoils and excess concrete and mortar resulting from the Work of their Subcontract. No excavation spoils, excess mortar or concrete shall be placed in the dumpsters provided by **General Trades Work Contract #1**.
 - 4) Each Prime Contract shall provide and maintain their own concrete washout area(s) as required for the Work of their Contract including collection, retention, removal and treatment of all wash out water and solids in leak proof containers to prevent any wash out water or solids from reaching solid surfaces and/or surface / ground water. This system shall include the treatment of washout water prior to discharge and the recycling of concrete solids. Each Prime Contractor required to provide a concrete wash out area shall provide the Construction Manager a detailed plan for Manager of the concrete washout including but not limited to design, treatment, solid recycling, discharge, permits and proposed location(s). Each Prime Contractor shall be responsible to remove their washout areas in its entirety and restore the site at the completion of their Work.
- n. Rodents and Pest Control and as further clarified:
- 1) **General Trades Work Contract #1** shall provide rodent and pest control for the duration of the project.
- o. Access Roads, Parking, and Staging Areas and as further clarified:
- 1) **General Trades Work Contract #1** shall provide and maintain ramps, curb cuts and temporary site-work at all site entrances to allow access from the street. If a public sidewalk crosses the temporary entrance **General Trades Work Contract #1** shall provide all Work as required to maintain the walk in a level and safe condition.
 - 2) **General Trades Work Contract #1** shall provide snow and ice removal seven (7) days a week, 24 hours, Monday through Sunday, as required (after a fresh snowfall that exceed 3" or as directed by the Construction Manager) and shall be completed no later than 6:30 am and maintained through the working day and through 2nd shift work for the following areas: staging areas, all paved areas including parking lot, temporary parking lot and all gated entrances to site, all sidewalks (including sidewalk outside the temporary fence at main roads around the property), pathways to all exterior doors, roofs, access to all work areas, office and storage trailer areas, Construction Manager office, site access road and toilet areas. Snow and ice removal shall also include access to and around the staging area. Snow and ice removal tasks shall be taking place starting Notice to Proceed until Project Completion.

Snow and ice removal is defined by removal through chemical and physical means including appropriate application of Magnesium Chloride Hexahydrate to provide safe and secure passage for all employees and equipment. **General Trades Work Contract #1** shall provide an owner approved ice melt

product at staging areas, entrances and pathways as required to maintain safe roads and walkways for construction workers and visitors access to and from the project site.

p. Cleaning of Trucks and as further clarified:

- 1) Each Contractor shall provide all Work as required to clean all trucks related to the Work of their Contract prior to them leaving the site to prevent the tracking of mud, stones etc. on to the public roads and sidewalks. Contractors who fail to clean their trucks shall be responsible for all costs associated with, but not limited to, cleaning the public roads, DEC fines, etc.

q. Protection of Installed Construction and as further clarified:

- 1) Each Contractor shall be responsible to protect the Work of their Contract through substantial completion/turnover to the Owner.

r. Erosion and Sediment Control and as further clarified:

- 1) **General Trades Work Contract #1** shall provide, maintain and remove erosion control measure as identified in the contract documents and as required for the Scope of their Work.

34. 01 55 00 Access Roads, Parking & Staging

35. 01 55 00A Site Logistics Plan

36. 01 56 10 Noise Control

37. 01 56 90 Construction Cleaning and as further clarified:

- 1) Each day, each Contractor shall remove debris resulting from the work of their Contract from the work area and deposit it in the dumpster provided by **General Trades Work Contract #1**. **EACH CONTRCATOR SHALL MAINTAIN ALL WORK AREAS IN A BROOM-CLEAN CONDITION ON A DAILY BASIS FOR THE DURATION OF THE PROJECT.** In the event that a Contractor fails to remove debris on a daily basis or upon direction of the Construction Manager, the Construction Manager shall designate another Contractor who shall remove the debris and the cost thereof shall be deducted from any amounts payable to the offending Contractor. Such determination of responsibility shall be at the sole discretion of the Construction Manager.
- 2) In addition to above cleaning requirements, until substantial completion, every Friday for the duration of the project, each Prime Contractor/Subcontractor to allocate minimum of two people or two people (for one day) for each ten (10) personnel on site for construction general cleaning, this includes removal of debris and/or cleaning as directed by Construction Manager. Workforce for such requirement cannot be utilized for final cleaning. Each prime contractor to include cost for this item as separate line item in their schedule of values.
- 3) All Contractors shall provide and utilize vacuuming and sweeping compound when sweeping.
- 4) **General Trades Work Contract #1** shall maintain the dumpster area in a clean and orderly fashion on a daily basis and shall provide dust control as directed by the Construction Manager.

- 5) **General Trades Work Contract #1** shall consolidate all masonry debris on a daily basis and remove same from the project site on a weekly basis. All masonry debris shall be removed from the project site.
 - 6) **Concealed Spaces: General Trades Work Contract #1** shall remove and **dispose** of all debris from concealed spaces before spaces are enclosed.
 - 7) Waste Disposal: Burying or burning of waste materials on site is prohibited. Washing waste materials into sewers or into waterways is prohibited.
 - 8) Any Contractor performing work in an occupied section of a facility during the unoccupied hours shall provide all clean up as necessary to leave the work areas as clean as it was before work started. This clean up shall include vacuuming, dusting, sweeping, mopping and any other clean-up procedures as required.
 - 9) **General Trades Work Contract #1** shall provide cleaning of fenced area, streets, sidewalks, school roads, parking areas, etc. of all mud, dust, stone, debris, etc. resulting from the work of this project on a daily basis or as directed by the Construction Manager.
 - 10) **General Trades Work Contract #1** shall provide a final site cleaning prior to Substantial Completion and/or as directed by the Construction Manager. All trash and debris shall be deposited in the dumpster. **General Trades Work Contract #1** shall sweep and power wash all sidewalks, curbs and paved areas as directed by the Construction Manager.
 - 11) **General Trades Work Contract #1** shall from the Notice to Proceed to substantial completion provide a general cleanup, once a month or as directed by the Construction Manager, of the site located within the project limit lines and along the outside of the temporary construction fence. Cleanup shall include the removal of all trash and debris.
 - 12) **General Trades Work Contract #1** shall provide six 30-40 gallon trash receptacles with wheels per each floor, within the work areas and shall empty same into dumpster on a weekly basis or more often as required. Each Contractor shall deposit minor trash items into trash receptacles (no material scrap or demo debris).
 - 13) Each Contractor is responsible for removing their own material scraps, debris, packaging materials, trash, etc., from the building and placing them in the proper dumpsters.
 - 14) Each Contractor shall crush all boxes and consolidate all trash prior to placing it in the dumpster.
38. 01 60 00 Product Requirements
39. 01 71 16 Acceptance of Existing Conditions
40. 01 72 00 Execution and as further clarified:
- 1) All Prime Contractors performing sub grade Work shall request public utility underground location stakeout immediately upon award of Contract. **A private Underground Utility Locating Contractor shall be hired by the Prime Contractor performing sub grade Work to locate private underground utilities within the Work area. Contractors shall be**

responsible for maintaining these stakeout location marks throughout construction, and submitting an as-built drawing showing location of all located underground utilities, whether public or private, at the end of construction. Backfilling and compaction of excavations required to perform subgrade Work shall be the responsibility of the Contractor requiring the excavation. Coordinate backfilling and compaction with testing agent to assure proper scheduling of required testing.

- 2) Construction Layout and as further clarified:
 - 1) Each Contractor, Working from the established control points, shall provide all survey and layout Work required for the Work of their Contract.
 - 2) **General Trades Work Contract #1** shall be responsible for establishing control points at minimum of four (4) per each floor, including roof and site. **General Trades Work Contract #1** shall submit control point locations to Architect for approval and upon approval coordinate with others.

41.01 73 29 Cutting and Patching and as further clarified:

1. Each Contractor shall include all Work complete, and comply with all provisions specified in this Specification Section, as further clarified and assigned below:
 - a. **Each Contractor shall provide cutting and patching of new/existing materials and finishes as required by the work of their Contracts unless otherwise indicated in the Project Documents. All prime contractors are specifically forewarned that refer entire project documents for their contract responsibility associated with cutting and patching work.**

42. 01 74 19 Construction Waste Manager and Disposal

43. 01 74 23 Final Cleaning and as further clarified:

- 1) **Each Prime Contractor** shall provide “punchlist cleaning” at the completion of punchlist work and prior to final cleaning for their scope of work. Punchlist cleaning shall include removal of dust and debris from hard surfaces. VCT and hard surface floors are to be brush swept, carpet and similar soft surfaces are to be vacuumed to remove dust and debris. Punchlist cleaning shall be assumed to be in multiple phases as areas are completed.
- 2) **General Trades Work Contract #1** will provide final cleaning of the interior and exterior of the Building after punchlist work is complete and the building is ready for occupancy. **General Trades Work Contract #1** shall provide all final cleaning as indicated in Specification Section 01 74 23, and as further clarified:

- 1) All contractors shall remove labels that are not permanent, touch up and otherwise repair marred exposed finishes and replace parts subject to unusual operating conditions.
 - 2) **General Trades Work Contract #1** shall clean all new and existing transparent materials, including mirrors and glass in doors and windows. Remove glazing compounds and other noticeable vision obscuring materials. Replace chipped or broken glass and other damaged transparent materials. Polish mirrors and glass, taking care not to scratch.
 - 3) **Mechanical Work Contract #3** shall replace disposable air filters and clean permanent air filters. **Mechanical Work Contract #3** shall clean ducts, blowers and coils if units were operated without filters during construction.
 - 4) **Electrical Work Contract #4** shall replace burned out bulbs and those noticeable dimmed by hours of use and defective noisy starters.
 - 5) At the time of substantial completion or when directed by the Construction Manager, **General Trades Work Contract #1** shall provide all work required to clean the glass, both inside and out, at all new and existing exterior windows; including all storm windows, aluminum entrances, storefronts, curtain walls, skylights, etc.
 - 6) **General Trades Work Contract #1** shall provide final cleaning and power washing of all site roads, sidewalks, and site improvements at Substantial Completion of their contract or as directed by the Construction Manager.
44. 01 77 00 Closeout Procedures and as further clarified:
- 1) Contractors are required to turn in O&M, warranties, guarantees, as - built drawings, training sign-in sheets and test reports (as per Contract) prior to substantial completion or the Construction Manager reserves the right to refuse to review pencil copies and withhold payment. In addition to the 3 Ring Binders, these closeout documents are to be submitted electronically.
 - 2) Any original deficiency list or non-conformance list or observation list or punch list distributed by the Owner or Construction Manager or Owner's Consultants or the Architect or the Engineers of records or Commissioning agent or Testing Agents must be returned with photographs of corrected work showing completion of each item within 5 Working days of receipt of such list. Any deficiency or punch list re-distributed due to incompleteness or not done to the satisfaction must be corrected and returned with 3 Working days or the Construction Manager reserves the right to refuse to review pencil copies and withhold payment.
45. 01 78 23 O and M Manuals and Data
46. 01 78 39 Project Record Documentation
- 1) Record Drawings
 - 1) Each Contractor shall submit Project Record Documents to the Construction Manager for review at monthly basics, 75%, 90% and

100% for approval. Contractors who's Project Record Documents are not maintained in accordance with Specification Section 01 78 39 may have their monthly progress payments withheld until such time as the record documents are brought into conformance.

47. 01 79 00 Demonstration and Training

48. 01 83 16 Air Barrier System

- 1) **General Trades Work Contract #1** shall include all Work complete, and comply with all provisions specified in this Specification Section. **General Trades Work Contract #1 is specifically forewarned that refer entire project documents for their contract responsibility associated with Air Barrier System.** Coordinate with others as needed. **General Trades Work Contract #1** shall be solely responsible to ensure that the intent of constructing the building enclosure with a continuous air barrier system to control air leakage into, or out of the conditioned space is achieved per project documents.

49. 01 84 00 Maintenance Products

50. 01 91 13 General Commissioning Requirements

C. ADDITIONAL NOTES TO ALL CONTRACTORS

Each Contractor shall include all Work and comply with all provisions of each of the following notes, complete:

1. Each Prime Contractor is responsible for all Federal, New York State, and local government or School District laws, codes, standards, rules and regulations including, but not limited to, zoning, planning, fire, health, tax, insurance, safety, OSHA, criminal, building code, plumbing code, HVAC code, electrical code, utility company, traffic, labor, transportation, environmental, and education.
2. All bidders are forewarned to review all information in the Contract documents.
3. Review section 00 43 21 for Allowances that are included in each Prime Contractor's Scope of Work.
4. Review section 00 43 22 for Unit prices that are included in each Prime Contractor's Scope of Work.
5. Review Section 00 43 23 for Alternates that are included in each Prime Contractor's Scope of Work.
6. Review Section 01 50 00 for Work requirements of temporary facilities and construction activities in each Prime Contractor's Scope of Work.
7. Review Section 01 55 00A for Logistics Plan in each Prime Contractor's Scope of Work.
8. Review all geo-technical information for the site including test pit and boring evaluation reports.
9. All Contractors are responsible for the layout and survey of their own Work. Layout and survey is to include existing conditions and dimensions. Dimensions on the drawings are to be field verified. At no time shall dimensions provided on contract

drawings be considered hard dimensions. Verify all dimensions and report any discrepancies by way of RFI, (Request for Information) process.

10. All Contractors are required to construct the project per the Milestone and Contractor Signed off Construction Schedules. Contractors must make the site and building ready for use by the District on or before the dates listed in the Phased Construction Milestone Schedule Matrix in Section 00 43 83 and on the drawings as shown. All Contractors shall cooperate fully with the intentions of the plan. All Prime Contractors are specifically forewarned that any delays caused directly or indirectly by their acts, omissions, and/or failure to perform will result in the District, or its agents, completing the Prime Contractor's Work by whatever means are needed to complete the Work. The Prime Contractor causing the delay will be responsible for any and all costs associated with such issues including, but not limited to, Owner, District, Program Manager, Architectural, Construction Management, Contractors, Legal, and Inspections costs, plus costs submitted by Contractors hired to complete the Prime Contractor's Work-in specific areas.
11. Each Contractor shall provide any temporary shoring, bracing, supports, or protection systems needed to complete the Work of their Contract. All Contractors are responsible, individually and collectively, for maintaining safe-working conditions at all times. Shoring bracing, supports, or protection systems may require in multiple areas of this project including but not limited to foundation under pinning locations, mechanical rooms, floor penetrations, roof supports, construction of penthouse, during placement and until curing of slab on deck concrete, etc. All structural shoring shall have stamped drawing and calculations by a registered Professional Engineer.
12. All Contractors are responsible for the safety of their own Workers, Sub Contractors and other personnel on site. Each and every Contractor is responsible for maintaining a safe work site, and for maintaining safe work procedures. Protect all facilities, personnel, students, and activity areas. Each Contractor is required to implement and maintain a project specific safety program. Each Contractor shall submit their safety program to the Construction Manager, prior to the start of the Work of their Contract. The program shall include company safety philosophy, history, action plan, manuals, hazardous communications sheets, OSHA filings, meeting minutes and a reporting system for any accidents or injuries. All Contractors are responsible for submitting a list of competent personnel list to Construction Manager and update as needed.
13. For identification and security purposes, workers are required to wear photo-identification badges at all times while working at the sites. Each Contractor is responsible for control, maintenance and updating of the badges worn by their personnel.
14. Painting of exposed pipe, HVAC ductwork and all electrical conduits in occupied spaces shall be by the **General Trades Work Contract #1** unless otherwise noted. Painting of exposed piping, HVAC ductwork and all electrical conduits in Mechanical Rooms/Boiler Rooms/Fan Rooms/Penthouses/Roofs shall be by the installing Contractor.
15. All Prime Contractors inherit the existing cleanliness of the building before the start of construction. There will be no differentiation between existing dust and debris and construction produced dust and debris. Each Prime shall become familiar with

- the Project site as each contractor is responsible for all cleanup of existing dust and **General Trades Work Contract #1** is responsible for final cleaning at completion.
16. All Prime Contractors performing sub grade work shall request a public utility underground location stakeout immediately upon award of Contract. A private Underground Utility Locating Contractor shall be hired by the Prime Contractor performing sub grade work to locate the District's private underground utilities within the work area. Contractors shall be responsible for maintaining these stakeout location marks throughout construction, and submitting an as-built drawing showing location of all located Underground utilities, whether public or private, at the end of construction. Backfilling and compaction of excavations required to perform subgrade work shall be the responsibility of the Contractor requiring the excavation. Coordinate backfilling and compaction with testing agent to assure proper scheduling of required testing.
 17. Unless otherwise specified, each Prime Contractor shall patch all openings and holes in walls, floors and ceilings created by its demolition. Each Prime contractor is responsible for all cutting, patching and fire stopping of all new penetrations created by its installations.
 18. Unless otherwise specified, **General Trades Work Contract #1** shall patch all existing openings and holes in walls, floors and ceilings.
 19. Each Contractor shall be responsible for restoration of walls to a smooth uniform surface condition after selective demolition of their contract items such as signs, tack strips, clocks, light fixtures, other general construction, mechanical, electrical and plumbing items, etc.
 20. Each Prime Contractor's Contract is active and will remain so, until the Architect authorizes a signed Substantial Completion Certificate and the Punch Lists are approved as completed by Architect and Owner.
 21. General, Plumbing, Mechanical (HVAC), Electrical Contractors are responsible for coordination of their work. Coordination drawings in accordance with the Contract documents; shall be generated by all Prime Contractors without delay. Approval of ductwork, piping, and conduit submittals will be contingent upon final review of the required General / Mechanical / Plumbing / Electrical coordination drawings. Coordination drawings are required to include all ceilings. Refer to finish schedule for above floor ceiling heights. Coordination drawings shall include, but not limited to, ceiling grid layout, new or existing wall/soffit installations, light fixture locations, ceiling heights, steel, duct, mechanical piping, electrical piping, sprinkler, etc. A line item for the coordination drawings will be identified with a cost on each Contractor's schedule of values. The Mechanical Work Contract #3 shall initiate, coordinate, lead and complete coordination drawings process on read/write electronic files purchased at their expense from the architect and engineers if the architect/engineers has a fee to provide these files, (All Prime Contractors are subject to this fee). If three dimensional drawings are not available from architect/engineers, the Mechanical Work Contract #3 shall generate three dimensional drawings of existing/new spaces and existing/new systems for coordination drawing purpose. All Contractors shall include their coordination information on the aforementioned electronic files and on hardcopy coordination drawings to be submitted to Architect and Construction Manager.

22. Each Prime Contractor shall provide moisture mitigation necessary, including sealer, on new concrete and other cementitious slabs (per their scope of work) in order to install new flooring products and other products to meet the project construction schedule. The type of moisture mitigation used will be in accordance with the manufacturer's recommendation for its product.
23. Unless otherwise specified, all Prime Contractors are responsible for all new concrete pads for their equipment.
24. Unless otherwise specified, all Prime Contractors are responsible for wood blocking and sheathing to facilitate their scope of work.
25. Unless otherwise specified, all Prime Contractors are responsible for all cutting and patching to match existing surfaces to facilitate their scope of work. This includes, but is not limited to, patching of all sub floors, floors, walls, ceilings, roof deck and roofing systems. Where roof openings are required by each contractor shall be responsible to provide a qualified roofing contractor to perform all patching and flashing to the existing roofing system and keep weather tight. Maintain the integrity of the roof during penetrations and maintain existing warranties. All asbestos abatement will be performed by the **General Trades Work Contract #1**.
26. Unless otherwise specified, all Prime Contractors are responsible for fire-stopping of all penetrations related to his work in accordance with applicable specification sections, Federal, State and Local code requirements.
27. Unless otherwise specified, all Prime Contractors are responsible for providing joint sealants required for the work of their Contract.
28. Unless otherwise specified, all Prime Contractors are responsible for working with lead containing materials as shown on the Contract Documents for the work of their Contract.
29. Schedule of Values (SOV): The following items shall be included in each Prime Contractors SOV at a minimum of 1% of its contract sum, per item. Items include, but are not limited to: Submittals, Coordination drawings, Temporary Facilities, Cleaning, Closeout/O&M, Punchlist, Training, Monthly As-builts, demobilization, and Bonds and Insurances, etc.
30. Each Prime Contractor shall pay for all applicable permit fees required for its work.
31. Each Prime Contractor shall conduct a Project site pre-inspection report noting existing conditions before construction begins. Include photos of preexisting conditions and report all conflicts, damage and inoperable systems. The Prime Contractors will be responsible for damages not reported before start of work.
32. Unless otherwise specified, all Prime Contractors are responsible to furnish and install all types of lintels, all types of steel angles, all types of framing, all types of supports, and all types of bracing at interior/exterior of building, including walls, floors and roof slab. Unless otherwise specified, all items required are to be furnished and installed by the Prime Contractor providing the opening.
33. The **General Trades Work Contract #1** shall be furnished by the other Prime contractors their auxiliary embedded items including, but not limited to sleeves, access doors, etc. that intersects or requires incorporation within the **General Trades Work Contract #1** new scope of work, (ie. New foundation walls, new masonry or other types walls, new slabs, ceilings, etc.). Unless otherwise noted,

the **General Trades Work Contract #1** shall install these items as detailed/noted or required. Unless otherwise specified, all Prime Contractors are responsible to furnish access doors for their contract work and installed by **General Trades Work Contract #1**.

34. **General Trades Work Contract #1** shall be responsible for subfloor preparation to receive specified new flooring products, such as removal of existing conditions to meet required floor elevations and or match elevations with surrounding area, non-cumulative in all directions. **General Trades Work Contract #1** shall be responsible for subfloor preparation and restoration to receive the specified new flooring products, but not limited to grinding of protrusions, existing material(s), removal of existing embedded items, bumps and ridges; patching and repair of cracks and rough areas infilling and infilling of depressions (without any limitations of thickness) and infilling of holes (including all new and/or existing mechanical, electrical and plumbing) to level the new or existing subfloor including those at all removals, to within one-eighth inch (1/8") in ten feet (10'), non-cumulative in all directions. This shall include providing crack isolation at substrate as necessary. Actual dimensions shall be coordinated with the manufacturer of the floor finishes being installed and/or adjacent finishes. Finished floor elevations and slopes shall be per contract documents.
35. **Each Prime Contractor** shall be responsible for temporarily support and reinstall all items, including but not limited to, conduit, piping, equipment, etc. attached to duct or in conflict with duct abatement. Remove, relocate, and reroute existing utilities supported from ductwork and other elements, to facilitate removal of the ductwork. Temporarily support such supported utility as required. Re-support permanent utilities to remain once removal work is complete.
36. **All Prime Contractors shall be responsible for custody and providing insurance coverage for all Owner Furnished items, until Project Turnover since the day of receiving. All Prime Contractors shall be responsible to provide lockable storage room or container for custody of all Owner Furnished items.**
37. **All Prime Contractors shall be responsible for cutting and patching of wall for all items called out for demolition or new installation and located within the wall space or access needed.**
38. **All Prime Contractors shall be responsible for painting and/or touch up for work items that has been completed after final coat of painting.**
39. **General Trades Work Contract #1 and Mechanical Work Contract #3 to coordinate duct work installation prior to closing off chase areas. Mechanical Work Contract #3 to install, test and insulate ductwork on a timely fashion without affecting project schedule.**
40. **All Prime Contractors shall be responsible to provide access openings for completion of their scope of work, including cutting, patching and finishes.**
41. **All Prime Contractors shall be responsible to review entire documents and request information on Owner supplied equipment minimum twenty (20) working days prior to rough-in or installation.**

END OF SCOPE OF WORK – ALL CONTRACTS

D. SCOPE OF WORK – GENERAL TRADES WORK CONTRACT#1

General Trades Work Contract #1 shall provide labor, material, plant, tools, equipment and supervision related to and/or necessarily involved with the performance of the Work, as indicated on all the Drawings, Specifications and/or Project Manual, and as set forth below. Work for **Contract #1** is generally described as **General Trades** and more specifically described in this Scope of Work. **“Scope of work”** information indicated on more than one Prime Contractor’s Scope of Work. Consequently, each and every Prime Contractor is responsible for all information on each and every **“Scope of Work”** indicated for their Contract scope of work. **All Prime Contractors** are specifically forewarned that refer entire project documents as part of their Contract scope of work, including Specification 01 10 00.

1. DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS

- a. This Contractor shall include all Work in Division 00 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.

2. DIVISION 01 – GENERAL REQUIREMENTS

- a. This Contractor shall include all Work in Division 01 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.

3. 02 32 33 Photographic Documentation

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section as part of their Contract work.

4. 02 41 19.03 Selective Demolition

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section as part of their Contract work.
- b. **General Trades Work Contract #1** shall be responsible for all demolition scope of work as required per Hazardous Materials, Civil, Structural, Architectural and Food Service drawings. Coordinate with other prime contractors as needed.
- c. **General Trades Work Contract #1** shall be responsible for all demolition scope of work as required per Hazardous Materials, Structural and Architectural drawings associated with chimney. Coordinate with other prime contractors as needed.
- d. **General Trades Work Contract #1** shall be responsible for removal and disposal of all kitchen equipment. Coordinate with other prime contractors as needed.
- e. **General Trades Work Contract #1** shall be responsible for all removals items as specified in drawing SD-101.1. Coordinate with other prime contractors as needed.

5. 02 82 13 Asbestos Abatement

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
 - b. **General Trades Work Contract #1** shall be responsible for all asbestos abatement scope of work associated with items listed per Specification Sections 00 25 00, 00 25 00A and 00 25 00B. Co-ordinate with other prime contractors as necessary.
 - c. **General Trades Work Contract #1** shall be responsible for all asbestos abatement scope of work at its entirety, but not limited to Hazardous Materials, Civil, Structural, Architectural, Food Service, Plumbing, Fire Protection, Mechanical, and Electrical drawings. **General Trades Work Contract #1** are specifically forewarned that refer entire project documents for asbestos abatement work as part of their Contract scope of work, including Specification Sections 00 25 00, 00 25 00A, 00 25 00B and other reports.
 - d. **General Trades Work Contract #1** shall be responsible for all asbestos abatement scope of work as required per Hazardous Materials drawings regarding chimney.
 - e. **General Trades Work Contract #1** shall responsible for all asbestos abatement at all penetrations, cutting and patching where asbestos material exists, refer to Hazardous Materials, Civil, Structural, Architectural, Food Service, Plumbing, Fire Protection, Mechanical, and Electrical drawings for locations, as part of their Contract.
 - f. **General Trades Work Contract #1** shall be responsible for H101.1 Keyed Environmental Removal Note#2 as part of base bid. Coordinate with other prime contractors as needed.
6. 02 83 19 Removal of Lead Containing Material
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.
7. 02 85 00 Mold Remediation
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
8. 02 86 00 Identification and disposal of Hazardous Waste
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.
9. 02 87 00 Removal and Disposal of Universal Waste
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
10. 02 87 33 Bird Droppings Remediation and Removal

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

11. 03 30 00 Cast-In-Place Concrete

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified.

- 1) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Cast-In-Place Concrete required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.

12. 03 30 53 Miscellaneous Cast-In Place Concrete

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified.

- 1) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Miscellaneous Cast-In-Place Concrete required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.

13. 03 54 13 Gypsum Cement Underlayment

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

14. 04 01 02 Masonry Restoration and Cleaning

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

15. 04 20 00 Unit Masonry

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:

- 1) **General Trades Work Contract #1** shall furnish and install all loose lintels, bearing plates and leveling plates that are embedded in or bearing locations.
2) **General Trades Work Contract #1** shall provide all closure angles and plate steel (typical) at all locations.

16. 04 42 00 Exterior Stone Cladding

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~17. 04 43 13 Anchored Stone Masonry Veneer~~

- ~~a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.~~

18. 04 72 00 Cast Stone Masonry

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

19. 05 12 00 Structural Steel Framing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1** shall furnish and install all types of lintels, all types of steel angles, all types of framing, all types of supports, and all types of bracing at interior/exterior of building, including walls, floors and roof slab as indicated on the Architectural or Structural Drawings.
 - 2) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Structural Steel Framing required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.

20. 05 31 00 Steel Decking

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

21. 05 40 00 Cold Formed Metal Framing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

22. 05 50 00.03 Metal Fabrications

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1** shall furnish and install all types of steel angles, all types of framing, all types of supports, and all types of bracing at interior/exterior of building, including walls, floors and roof slab as indicated on the Architectural or Structural Drawings.
 - 2) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all metal fabrication required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.

23. 05 51 00 Metal Stairs

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

24. 05 52 13 Pipe and Tube Railing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

25. 05 53 00 Metal Gratings

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

26. 06 10 00.03 Rough Carpentry

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:

- 1) **Plumbing Work Contract #2, Mechanical Work Contract #3, and Electrical Work Contract #4** shall provide all rough carpentry required for the Work of their Contract that is not indicated on the Contract Drawings. Any additional rough carpentry required for owner furnished items and for kitchen equipment, for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
- 2) **General Trades Work Contract #1** shall provide all rough carpentry work, complete as specified in this Specification Section that is indicated and/or required for the complete installation of the Work of this Contract. Any additional rough carpentry required by roofing manufacturer, for owner furnished items and for kitchen equipment, for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.

27. 06 16 00.03 Sheathing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:

- 1) **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3, and Electrical Work Contract #4** shall provide all sheathing required for the Work of their Contract that is not indicated on the Contract Drawings. Any additional sheathing required for roofing, Owner furnished items and for kitchen equipment, for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.

28. 06 20 00 Finish Carpentry

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~29. 06 20 23 Interior Architectural Woodwork~~

- ~~a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.~~

30. 06 40 30 Architectural Woodwork Restoration

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

31. 07 01 50.19 Preparation for Reroofing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~32. 07 13 26 Foundation Waterproofing~~

- ~~a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.~~

33. 07 13 26 Self-Adhering Sheet Waterproofing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

34. 07 16 16 Crystalline Waterproofing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~35. 07 18 00 Traffic Coatings~~

- ~~a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.~~

36. 07 21 00 Thermal Insulation

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

37. 07 21 29 Sprayed Acoustical Insulation

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

38. 07 27 26 Fluid-Applied Membrane Air Barriers

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

39. 07 27 27 Self Adhered Sheet Membrane Air Barriers, Vapor Permeable

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- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
40. 07 42 13.13 Formed Metal Wall Panels
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
41. 07 52 16.11 Cold Adhesive Styrene-Butadiene-Styrene Modified Bituminous Membrane (Warm Weather)
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
42. 07 53 23 Ethylene-Propylene-Diene-Monomer (EPDM) Roofing
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
43. 07 62 00 Sheet Metal Flashing and Trim
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
44. 07 71 00 Roof Specialties
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
45. 07 72 00 Roof Accessories
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
46. 07 81 00 Spray Applied Fireproofing
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
47. 07 84 13 Penetration Firestopping
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3, and Electrical Work Contract #4** shall provide all penetration firestopping required for the Work of their Contract. Any additional penetration firestopping required for owner furnished items and for kitchen equipment, for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.

48. 07 84 43 Joint Firestopping

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
 - 1) **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3, and Electrical Work Contract #4** shall provide all penetration firestopping required for the Work of their Contract. Any additional penetration firestopping required for owner furnished items and for kitchen equipment, for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.

49. 07 92 00 Joint Sealants

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
 - 1) **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3, and Electrical Work Contract #4** shall provide all joint sealants required for the Work of their Contract. Any additional joint sealants required for owner furnished items and for kitchen equipment, for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
 - 2) **Plumbing Work Contract #2** shall provide all joint sealants at the perimeter of all plumbing fixtures.

50. 07 92 19 Acoustical Joint Sealants

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
 - 1) **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3, and Electrical Work Contract #4** shall provide all acoustical joint sealants required for the Work of their Contract. Any additional acoustical joint sealants required for owner furnished items and for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.

51. 07 95 00 Expansion Control

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
 - 1) **General Trades Work Contract #1** shall provide all expansion control required for the Work of their Contract. Any additional expansion control required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs. **General Trades Work Contract #1** shall submit shop drawing indicating all expansion control locations for Architects review and approval.

52. 08 11 13 Hollow Metal Doors and Frames

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

53. 08 14 16 Wood Doors

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~54. 08 25 50 FRP Aluminum Flush Doors and Aluminum Framing~~

- ~~a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.~~

55. 08 25 60 AMP Aluminum Doors and Aluminum Storefront

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

56. 08 31 13 Access Doors and Frames

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1** shall install all access doors in the Work of **General Trades Work Contract #1** as furnished by **Plumbing Work Contract #2, Mechanical Work Contract #3** and **Electrical Work Contract #4**.
 - 2) **General Trades Work Contract #1** shall provide access doors in the Work of **General Trades Work Contract #1** as indicated on the contract drawings.

57. 08 33 21 Overhead Coiling Doors

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

58. 08 36 13 Sectional Doors

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~59. 08 41 13 Aluminum Framed Entrances and Storefronts~~

- ~~a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.~~

60. 08 51 00 Aluminum Windows

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~61. 08 51 23 Steel Windows~~

- ~~a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.~~

62. 08 63 00 Metal Framed Skylights

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

63. 08 71 00 Door Hardware

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:

- 1) **General Trades Work Contract #1** shall perform an inspection of all door hardware provided by this Contract two (2) months after the date of substantial completion. **General Trades Work Contract #1** shall adjust and check each operating unit of hardware and each door to ensure proper operation or function of every unit. Replace units that cannot be adjusted to operate freely and smoothly for the intended application.
- 2) **General Trades Work Contract #1** shall provide all patching and prep work at the existing doors and/or frames scheduled to receive new hardware and/or reinstalled existing hardware.
- 3) **General Trades Work Contract #1** shall provide all permanent cores, coordinate with RCSD and based on keying conference.
- 4) **General Trades Work Contract #1** shall review all existing door openings, verifying size, jamb thickness, and swings, etc prior to submitting door and hardware schedule. Door hardware schedule shall be submitted per critical submittal requirement.
- 5) **General Trades Work Contract #1 and Electrical Work Contract #4** shall coordinate and refer to Specification Section 28 13 00 Access Control, Responsibility Matrix for scope of work related to ADA door operators, card readers, door contacts, etc.
- 6) **General Trades Work Contract #1 and Electrical Work Contract #4** shall coordinate all electrical rough-ins, pathways and connections regarding door hardware.

64. 08 71 01 Door Schedule.

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

~~65. 08 72 00 Seals and Saddles~~

a. ~~**General Trades Work Contract #1**~~ shall provide all Work, complete, as specified in this Specification Section.

66. 08 80 00 Glazing

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

67. 09 21 16.23 Gypsum Board Shaft Wall Assemblies

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

68. 09 22 16 Non-Structural Metal Framing

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

69. 09 23 00 Gypsum Plastering

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

70. 09 29 13 Gypsum Board

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

71. 09 30 13 Ceramic Tiling

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

72. 09 51 13 Acoustical Panel Ceilings

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

73. 09 61 00 Water Vapor Reduction System

a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:

1) **General Trades Work Contract #1** shall provide water vapor reduction system at all areas to receive finished flooring.

2) **General Trades Work Contract #1** shall provide water vapor reduction or moisture mitigation system at all areas to receive terrazzo flooring.

74. 09 64 66 Wood Athletic Flooring

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

75. 09 65 13 Resilient Base and Accessories

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
 - 1) **General Trades Work Contract #1** shall provide base at millwork and columns.

76. 09 65 19 Resilient Tile Flooring

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

77. 09 65 66 Resilient Athletic Flooring

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

78. 09 66 23 Resinous Matrix Terrazzo Flooring

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section, and as further clarified:
 - 1) Where terrazzo flooring is being provided over either new or existing concrete floor slabs or existing terrazzo flooring, **General Trades Work Contract #1** shall provide all work required for the proper installation of the terrazzo flooring including but not limited to grinding of protrusions, removal of all existing embedded items, bumps and ridges; patching and repair of cracks and rough areas and filing of depressions and holes to level the new or existing subfloor including those at all removals, to within one-eighth inch (1/8") in ten feet (10'), non-cumulative in all directions. This shall include providing crack isolation substrate as necessary.
 - 2) **General Trades Work Contract #1** shall provide water vapor reduction or moisture mitigation system at all areas to receive terrazzo flooring.

79. 09 68 00 Carpeting

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

80. 09 84 33 Sound-Absorbing Wall Units

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

81. 09 91 13 Exterior Painting

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- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
82. 09 91 23 Interior Painting
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
83. 09 93 00 Staining and Transparent Finishing
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
84. 09 96 00 High Performance Coatings
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
85. 09 96 23 Graffiti Resistant Coatings
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
86. 10 11 00 Visual Display Surfaces
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
87. 10 14 19 Dimensional Letter Signage
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
88. 10 14 23 Panel Signage
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
89. 10 14 53 Traffic Signage
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
90. 10 21 13 Toilet Partitions
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
91. 10 21 23 Cubicle Curtains and Track

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- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
92. 10 22 39.36 Electrically Operated Folding Panel Partitions
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
 - 1) **General Trades Work Contract #1** shall provide all support structure, complete as specified and/or required for the complete installation of the Work of this Contract. Any additional support structure required by folding panel partitions manufacturer, for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
93. 10 26 00 Wall Protection
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
94. 10 28 00 Toilet and Bath Accessories
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
95. 10 28 14 Hand Dryers
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
96. 10 44 13 Fire Extinguisher Cabinets
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
97. 10 51 13 Metal Lockers
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
98. 11 13 13 Loading Dock Bumpers
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
99. 11 13 19 Stationary Loading Dock Equipment
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
100. 11 31 13 Residential Appliances

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

101. 11 40 00 Food Service Equipment

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified (and as indicated on food service drawings):

- 1) **Kitchen Equipment furnished by Owner.**
- 2) **General Trades Work Contract #1** shall be responsible for removal and disposal of all existing kitchen equipment. **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall be responsible for disconnecting all Kitchen Equipment to allow removal.
- 3) **General Trades Work Contract #1** shall be solely responsible for receiving, unloading, storage, protection from all damages, moving or transporting, all required hoisting, installation, placing in service, balancing, all testing, all applicable inspections, reports and permits required for new Kitchen Equipment listed in project documents and furnished by Owner.
- 4) **General Trades Work Contract #1** shall be responsible for custody and providing insurance coverage for all Kitchen Equipment per project requirements since the day of receiving from Owner.
- 5) **General Trades Work Contract #1** shall be solely responsible to review and coordinate the work of all other prime contractors, trades and suppliers, including Owner with the requirements of the contract documents and kitchen equipment drawings before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the contract documents, which might affect the work of that party. **General Trades Work Contract #1** shall be solely responsible for developing Kitchen Equipment Co-ordination Drawings and submitting to Architect for approval. **General Trades Work Contract #1** shall be solely responsible for cost evolved with corrective work due to lack of coordination.
- 6) **General Trades Work Contract #1** is specifically forewarned that refer entire project documents and kitchen equipment drawings for Kitchen Equipment installation work as part of their Contract scope of work. Any Kitchen Equipment and accessories not part of Owner supplied Kitchen Equipment, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
- 7) Unless otherwise specified, **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall be responsible for all Work, complete, as specified and indicated as part of their Contract scope of work in this Specification Section, Kitchen Equipment Drawings and Project Documents. Any Kitchen Equipment and accessories not part of Owner supplied Kitchen Equipment, and required for the installation of the Work of **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** Contract over and beyond that which is indicated shall be provided at no additional costs.

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102. 11 52 13 Projection Screens
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
103. 11 66 23 Gymnasium Equipment
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
104. 11 68 13 Playground Equipment
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
105. 12 48 13 Entrance Floor Mats and Frames
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
106. 12 93 00 Site Furnishings
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
107. 14 24 00 Hydraulic Elevators
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1** shall be responsible to review and coordinate the work of all other prime contractors, trades and suppliers, including Owner with the requirements of the contract documents and Hydraulic Elevators specification before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the contract documents, which might affect the work of that party. **General Trades Work Contract #1** shall be solely responsible for developing Hydraulic Elevators Co-ordination Drawings and submitting to Architect for approval. **General Trades Work Contract #1** shall be solely responsible for cost evolved with corrective work due to lack of coordination.
108. 14 42 00 Wheelchair Lifts
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1** shall be responsible to review and coordinate the work of all other prime contractors, trades and suppliers, including Owner with the requirements of the contract documents and

Wheelchair Lifts specification before commencing construction, and to assure that all parties are aware of all requirements, regardless of where the requirements occur in the contract documents, which might affect the work of that party. **General Trades Work Contract #1** shall be solely responsible for developing Wheelchair Lifts Co-ordination Drawings and submitting to Architect for approval. **General Trades Work Contract #1** shall be solely responsible for cost evolved with corrective work due to lack of coordination.

109. 22 42 15 Commercial Lavatories

- a. **General Trades Work Contract #1** shall only provide the following Work, complete, as specified in this Specification Section
- 1) **Plumbing Work Contract #2** shall provide and set all lavatories in counters and coordinate with **General Trades Work Contract #1** who shall cut out opening for lavatories in counters when required.

110. 31 10 00 Site Clearing

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

111. 31 20 00 Earthwork

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1** shall **EXCLUDE** earthwork required for the Work of **Plumbing Work Contract #2, Mechanical Work Contract #3** and **Electrical Work Contract #4**.
 - 2) **General Trades Work Contract #1** shall backfill and compact all areas where demolition and / or removal work is completed with selected backfill material. Areas shall be filled level with adjacent surface to prevent ponding or standing water.
 - 3) **General Trades Work Contract #1** shall top off and provide final compaction from building subgrades to finish grade prior to slab-on-grade installation at all locations.
 - 4) **General Trades Work Contract #1** shall be responsible for rock removal from entire area to indicated elevations for foundation, foundation under pinning and slab on grade installation. **General Trades Work Contract #1** is specifically forewarned that refer entire project documents, specification 00 31 32 Geotechnical Evaluation and 00 31 32A Geotechnical Evaluation Information.

112. 31 25 00 Erosion and Sediment Controls

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.

113. 32 12 16 Asphalt Paving

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- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
114. 32 13 13 Concrete Paving
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
115. 32 16 13 Stone Curb
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
116. 32 17 23 Pavement Markings
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
117. 32 17 26 Tactile Warning Surfacing
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
118. 32 18 16.13 Playground Protective Surfacing
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
119. 32 31 19 Decorative Metal Fences and Gates
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
120. 32 91 15 Soil Preparation (Performance Specification)
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
121. 32 92 00 Turf and Grasses
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
122. 32 93 00 Plants
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
123. 33 10 00 Water Utilities

- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
124. 33 30 00 Sanitary Sewerage Utilities
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
125. 33 40 00 Storm Drainage Utilities
- a. **General Trades Work Contract #1** shall provide all Work, complete, as specified in this Specification Section.
126. OTHER WORK OF **GENERAL TRADES WORK CONTRACT #1**
- a. Reference all Contract Drawings:
 - 1) **General Trades Work Contract #1** shall provide all Work complete as indicated and as further clarified:
 - 1) **General Trades Work Contract #1** shall provide all Work required to re-support any temporary lighting, fire alarm or power that is left unsupported as a result of the removals provided by this Contract.
 - 2) **General Trades Work Contract #1** is to provide all supplementary lighting required to perform the required finish Work under this section.
 - 3) **General Trades Work Contract #1** shall visit the site to verify and review existing conditions before estimating the cost of the project.
 - b. **All Prime Contractors** shall visit the site to verify and review existing conditions before estimating the cost of the project.
 - c. **All Prime Contractors** shall provide and remove crane pad as required per OSHA regulations and as necessary for Scope of their Work.
 - d. **General Trades Work Contract #1** shall provide and maintain a water tight temporary roof system over the new building following completion of metal deck. The temporary roof system may be utilized as the permanent roof underlayment and shall be compatible with the new roofing system. The proposed temporary roofing system shall be submitted to the Architect for their review / approval prior to the start of Work. **General Trades Work Contract #1** shall provide snow / ice removal as necessary to install temporary roof over new building. **General Trades Work Contract #1** shall provide provisions to temporarily divert roof's storm water if permanent roof drain/downspout and drainage is not installed during/after construction of roof.
 - e. **General Trades Work Contract #1** shall provide sanitary and storm lines to within five (5) feet of where they enter the building and cap.
 - f. **General Trades Work Contract #1** shall connect to grease interceptor specified in Division 22 Section, grease interceptor to be provided by **Plumbing Work Contract #2**. **Plumbing Work Contract #2** shall provide all Work required to connect to the Work of **General Trades Work Contract #1** from five

- (5) feet outside of where lines enter the building. **Plumbing Work Contract #2** shall provide mechanical (link) seal at foundation wall. **General Trades Work Contract #1** shall coordinate all final grades and locations with plumbing drawings.
- g. **Plumbing Work Contract #2** shall provide all new roof drains and associated cutting/penetration through roof and existing roof drain replacement work, refer to roof plan and/or plumbing drawings. **General Trades Work Contract #1** shall repair/patch abandoned roof drains holes as necessary to receive new roofing material. **Plumbing Work Contract #2** shall remove all existing roof drains as shown on project documents and plumbing drawings; and coordinate with **General Trades Work Contract #1** to patch locations accordingly.
- h. **General Trades Work Contract #1** shall be responsible for all existing roof demolition and abatement.
- i. **General Trades Work Contract #1** shall be responsible for new roofing installation and all required counter flashing for mechanical equipment, supports, piping and all mechanical, electrical and plumbing items, etc.
- j. **General Trades Work Contract #1** shall provide the domestic water line, for fire protection, to within five (5) feet of where they enter the building and cap. **Plumbing Contract #2** shall provide all Work as required to connect to the line provided by **General Trades Work Contract #1**. **Plumbing Contract #2** shall provide mechanical (link) seal at foundation wall. **Plumbing Contract #2** shall include costs to core drill foundation wall for new service, coordinate final elevations with civil drawings. **General Trades Work Contract #1** shall coordinate final grades and locations with fire protection drawings and **Plumbing Contract #2**.
- k. **General Trades Work Contract #1** shall provide the water service, for potable water into the building by a minimum of two (2) feet into building with flange and capped. **General Trades Work Contract #1** shall provide mechanical (link) seal at foundation wall. **Plumbing Contract #2** shall provide all Work as required to connect to the line provided by **General Trades Work Contract #1**. **General Trades Work Contract #1** shall coordinate final grades and locations with plumbing drawings and **Plumbing Contract #2**.
- l. **General Trades Work Contract #1** shall coordinate installation of new gas line service and meter with utility company in accordance with project schedule and per Construction Manager's direction. **General Trades Work Contract #1** shall provide all natural gas lines after the utility provided gas meter as indicated on the civil drawing to a minimum of two (2) feet into building with flange and capped. **General Trades Work Contract #1** shall provide mechanical (link) seal at foundation wall. **Plumbing Contract #2** shall provide all Work as required to connect to the line provided by **General Trades Work Contract #1**. **General Trades Work Contract #1** shall coordinate final grades and locations with plumbing drawings and **Plumbing Contract #2**. **General Trades Work Contract #1** shall provide 12 gauge copper coated tracer wire to be installed directly on gas line from meter to building, or as required per Utility Company's requirements.

- m. **General Trades Work Contract #1** shall provide, maintain and remove any required temporary natural gas lines and valves as required for temporary heating and per OSHA regulations.
- n. **General Trades Work Contract #1** shall provide dewatering as required for the Work of this Contract.
- o. Upon substantial completion of the work, the Construction Manager in conjunction with the Owner and Architect shall review the areas of Work for excessive damage and/or removals. All other areas where it is determined that excessive damage have occurred and/or removals for new openings are in excess of that required for the new Work, the Construction Manager will have the patching or infill completed by others with all costs back charged against **General Trades Work Contract #1**.
- p. **General Trades Work Contract #1** shall commit to providing sequenced submittals and shop drawings for all products and materials related to the scope of Work as specified in Mile Stone Schedule and Critical Submittal List. In addition to Critical Submittal List, **this includes but not limited to dimensioned rough-in Food Service Equipment co-ordination drawings, windows submittals, door hardware and door schedule submittals.**
- q. **General Trades Work Contract #1** shall remove all excess excavated material, spoils, etc. from the site as necessary for the Scope of their Work
- r. **General Trades Work Contract #1** shall provide, maintain and remove all temporary erosion control measures from Notice to Proceed through completion of project.
- s. **General Trades Work Contract #1** shall provide, maintain and remove temporary compacted stone ramp at entrances and work areas. The temporary stone ramp shall be removed when directed by Construction Manager.
- t. The work required for the installation of roof-top equipment furnished by **Mechanical Work Contract #3** shall be clarified as follows:
 - 1) **Mechanical Work Contract #3** shall provide all prefabricated curbs and equipment supports, as required for the work of **Mechanical Work Contract #3**.
 - 2) **General Trades Work Contract #1** shall provide all support framing as indicated on the Structural and Architectural Drawings; all other required support framing shall be provided by **Mechanical Work Contract #3**.
 - 3) **Mechanical Work Contract #3** shall layout the curb and equipment support locations, cut and remove the roof deck and provide all required rough carpentry, curbs and equipment supports.
 - 4) **General Trades Work Contract #1** shall provide all flashing where units are indicated on the Project Drawings. **General Trades Work Contract #1** shall provide and maintain temporary weather tight enclosures at all roof openings either where existing equipment has been removed or where new roof openings have been established and the equipment has not yet been installed.

- 5) **General Trades Work Contract #1** shall provide “pitch pockets” within roof as necessary.
- u. Penetrations at New and Existing Roof Areas: **Mechanical Work Contract #3** shall provide all cutting, removals, rough carpentry, steel support angles, etc., required for the roof openings that are required for the work of this Contract, not indicated on the structural or architectural drawings. **General Trades Work Contract #1** shall provide flashing work for this Contract as indicated on the roofing plans **Mechanical Work Contract #3** shall review the roofing plans and compensate **General Trades Work Contract #1** for roofing work required for the work of this Contract, but not indicated on the roofing plans. **General Trades Work Contract #1** shall provide and maintain temporary weather tight enclosure at all roof openings either where the existing equipment has been removed or where new roof openings have been established and the equipment has not yet been installed.
 - v. Unless otherwise specified, **Mechanical Work Contract #3** shall be responsible remove all roof top equipment, including all curbs If not called out to be removed by **General Trades Work Contract #1**.
 - w. **General Trades Work Contract #1** shall include 300 sq. ft. of temporary patching of roof and/or roof repairs to stop leaks until new roof is installed, as directed by Construction Manager.
 - x. **General Trades Work Contract #1** shall review all existing walls not called to receive new furring and provide all cutting, patching and sanding at all plaster, as indicated and/or required to correct all irregularities, including but not limited to holes, dents, cracks, blisters, buckles, crazing, check cracking, dry outs, water damage, peeling paint, paint drips, loose plaster where the bond to the substrate has failed, etc., at existing walls and ceilings to provide a smooth like new surface for application of the new finishes and floor base. This work shall include all walls and ceilings that are located behind or above items indicated to be removed, i.e., chalkboards, tackboards, etc.
 - y. **General Trades Work Contract #1** shall not apply the final coat of paint until after the installation of the casework, millwork, floor finishes, ceramic tile, lighting, etc., has been completed.
 - z. **General Trades Work Contract #1** shall apply an additional final coat of paint on the door frames following installation of the FF&E at no charge to the owner.
 - aa. **General Trades Work Contract #1** shall provide painting of all exposed piping and ductwork. Painting of exposed piping and ductwork located in mechanical areas, attic, roof and/or crawl spaces by trades responsible for installation.
 - bb. **General Trades Work Contract #1** shall provide painting of all exposed electrical equipment and conduit. Painting of exposed electrical equipment and conduit located in mechanical areas, attic, roof and/or crawl spaces by trades responsible for installation.
 - cc. **General Trades Work Contract #1** shall provide, maintain and remove Masonite board with taped seams (or equal) as flooring protection in all areas including corridors to protect new flooring and existing floor to remain. Damages to flooring shall be repaired or replaced to the satisfaction of Owner or Architect by **General Trades Work Contract #1** with no additional cost to Owner.

- dd. **General Trades Work Contract #1** shall be responsible for preparation of existing openings, providing new openings, preparation of existing door frames for installation of all types of frames/doors indicated, including cutting and patching as required. Any additional preparation work required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
- ee. **General Trades Work Contract #1** shall provide replacement of 5% of total installed ceiling tiles (each type) due to possible damages prior to final turn over of building to district. This shall include labor and material to replace installed ceiling tiles as directed by Construction Manager. This requirement is in addition to attic stock or turn over material and repair/replacement needed per punchlist.
- ff. **General Trades Work Contract #1** shall provide repair of 5% of total installed drywall due to possible damages prior to final turnover of building to district. This shall include labor and material to repair damaged drywall locations as directed by Construction Manager. This requirement is in addition to repair/replacement needed per punchlist.
- gg. **General Trades Work Contract #1** shall provide repainting of 5% of total painted area due to possible damages prior to final turnover of building to district. This shall include labor and material to repaint as directed by Construction Manager. This requirement is in addition to repair/replacement needed per punchlist.
- hh. Site Work installation is the responsibility of the **General Trades Work Contract #1**. The **General Trades Work Contract #1** is responsible for all concrete and paved sidewalks. Concrete or paved sidewalk installed over a foundation will be provided by the **General Trades Work Contract #1**.
- ii. During window installation the **General Trades Work Contract #1** shall enclose all openings weather tight until windows are installed. Enclose openings with a minimum of plywood, wood stud, insulation and poly construction.
- jj. During final cleaning the **General Trades Work Contract #1** shall clean all duct, piping, ceiling grid, chilled beams and all its components throughout the building.
- kk. Exterior dust control is the responsibility of the **General Trades Work Contract #1** throughout construction, including the supply of water used for dust control.
- ll. The **General Trades Work Contract #1** includes all site demolition such as utilities, sidewalks, curbs, paving, fencing, trees, curbing, stone, decorative planters etc., and offsite legal disposal of same and the protection and maintenance of all existing utilities throughout construction, including those to be relocated or replaced.
- mm. Exterior Retaining walls, landings, aprons, pads, concrete slabs, curbs, sidewalks, ramps, exterior stairs, etc. are the responsibility of the **General Trades Work Contract #1**. Install all sleeves and embeds provided by others for the incorporation of general trades work.
- nn. The **General Trades Work Contract #1** shall keep roads clean of mud and debris. This includes but is not limited to scraping, sweeping, and washing. No materials are to be tracked off site. If materials are tracked off site, it shall be cleaned up immediately.

- oo. The **General Trades Work Contract #1** shall be responsible for implementation and maintenance of the SWPPP Permit (Storm Water Pollution Prevention Plan) in full compliance with the law and will be copied on inspection reports for compliance and will be responsible under its Contract to correct any non-compliance noted by governing bodies, inspection agencies and agents of the district. Include a separate labor and material line item on the Schedule of Values for this work.
- pp. The **General Trades Work Contract #1** shall provide temporary protection for all existing trees, plantings and storm structures during the course of construction.
- qq. The **General Trades Work Contract #1** shall be responsible for all grading, topsoil and seeding for all site restoration to restore existing conditions to the new work including, but not limited to additions, storage area, pavement, sidewalks, ramps, stairs, retaining walls etc.
- rr. The **General Trades Work Contract #1** is responsible for providing all fencing both permanent and temporary for the project. The **General Trades Work Contract #1** is responsible for moving and/or relocating the temporary fencing at no additional cost to the owner, wherever deemed necessary at the direction of the Construction Manager. All gates shall have hinges welded to posts and gate latches welded to posts. The **General Trades Work Contract #1** shall maintain all fencing. Remove and dispose of all temporary fencing at the end of the project. Any posts installed in existing paved areas when removed will be filled with a non-shrink grout. Temporary posts to be driven. The fencing shown on the site logistics plan is for approximate locations only. The **General Trades Work Contract #1** shall confirm extent of existing fencing for reuse. Should any portion of the temporary fencing impede sidewalks, the **General Trades Work Contract #1** shall obtain approval and permits from local authorities including, but not limited to the City of Rochester and Monroe County. The **General Trades Work Contract #1** shall determine the need for sidewalk obstruction for completion of ALL site work. The **General Trades Work Contract #1** shall pay all applicable permit fees.
- ss. The **General Trades Work Contract #1** is responsible for all salvaged items removal, storage and reinstallation as indicated in the project documents.
- tt. The **General Trades Work Contract #1** shall provide protection of the existing auditorium stage curtains. The GC shall provide a submittal for architect approval for the method of protection. Protection must not promote mold, moisture build up or other potential damage to curtains. **General Trades Work Contract #1** shall be responsible for final cleaning of curtain.
- uu. **General Trades Work Contract #1** shall be responsible for all areas under renovation that includes areas receiving new steel, joists and beams for additional support as designed by the Architect/Engineer, all items exists above existing ceilings. If needed, all existing items, including Mechanical, Electrical and Plumbing shall have to be cut and disassembled and then reinstalled after the steel, joists and beams has been installed. Reference the Structural drawings for locations and details.

- vv. **General Trades Work Contract #1** shall be responsible for cutting ceilings (all types) and provide stud framing to allow installation of others work, including owner furnished and installed items.
- ww. **General Trades Work Contract #1** shall be responsible for cutting gym padding to accommodate others work. All edges shall be finished with similar materiel. **General Trades Work Contract #1** shall be responsible for coordinating with other trades.
- xx. **In order to meet the Substantial Completion dates and milestone dates, General Trades Work Contract #1 shall include cost for early strength concrete and winter conditions for all work in the contractor’s bid; no special consideration will be given to contractor that fails to include said costs in his/her bid.**
- yy. As part of Allowance#01, **General Trades Work Contract #1** shall be responsible for full cost of Submittal Exchange for twenty (20) months as of Notice to Proceed (NTP). Contact Submittal Exchange at 515-631-6538, shay.acheson@oracle.com to verify cost.

END OF SCOPE OF WORK GENERAL TRADES WORK CONTRACT #1

E. SCOPE OF WORK – PLUMBING WORK CONTRACT#2

Plumbing Work Contract #2 shall provide labor, material, plant, tools, equipment and supervision related to and/or necessarily involved with the performance of the Work, as indicated on all the Drawings, Specifications and/or Project Manual, and as set forth below. Work for **Contract #2** is generally described as Plumbing and Fire Protection and more specifically described in this Scope of Work. **“Scope of work”** information indicated on more than one Prime Contractor’s Scope of Work. Consequently, each and every Prime Contractor is responsible for all information on each and every **“Scope of Work”** indicated for their Contract scope of work. **All Prime Contractors** are specifically forewarned that refer entire project documents as part of their Contract scope of work, including Specification 01 10 00.

- 1. DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS
 - a. This Contractor shall include all Work in Division 00 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.
- 2. DIVISION 01 – GENERAL REQUIREMENTS
 - a. This Contractor shall include all Work in Division 01 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.
- 3. 02 32 33 Photographic Documentation
 - a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section as part of their Contract work.
- 4. 02 41 19.03 Selective Demolition

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.
 - b. **Plumbing Work Contract #2** shall be responsible for all demolition scope of work as required per Plumbing drawings. Coordinate with other prime contractors as needed.
 - c. **Plumbing Work Contract #2** shall be responsible for cutting and capping, and disconnecting all plumbing components to allow asbestos abatement scope of work by others. Coordinate with other prime contractors as needed.
 - d. **Plumbing Work Contract #2** shall be responsible for cutting and capping, and disconnecting all plumbing components to allow kitchen equipment removal scope of work by others. Coordinate with other prime contractors as needed.
 - e. **Plumbing Work Contract #2** shall be responsible for installing end cap on plumbing piping as needed and connecting piping system to create loops to maintain operational integrity of system.
 - f. Each Prime Contractors shall be responsible for temporarily support and reinstall all items, including but not limited to, conduit, piping, equipment, etc. attached to duct or in conflict with duct demolition. Remove, relocate, and reroute existing utilities supported from ductwork and other elements, to facilitate removal of the ductwork. Temporarily support such supported utility as required. Re-support permanent utilities to remain once removal work is complete.
5. 02 83 19 Removal of Lead Containing Material
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.
6. 03 30 00 Cast-In-Place Concrete
- a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2** shall provide cast-in-place concrete for housekeeping pads, including housekeeping pad not indicated on drawings, and size adjustment to those indicated, as required to complete the Work of **Plumbing Work Contract #2**.
 - 2) **General Trades Work Contract #1** shall install all embedded items and sleeves as furnished by **Plumbing Work Contract #2** at all cast-in-place concrete work and shall coordinate with the Work of **Plumbing Work Contract #2** to facilitate the accurate locations of the embedded items.
 - 3) **General Trades Work Contract #1** shall provide all box-outs at all cast-in-place concrete Work as required for the Work of **Plumbing Work Contract #2**.
 - 4) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Cast-In-Place Concrete required for the

Work of their Contract that are not indicated on the Architectural or Structural Drawings.

7. 03 30 53 Miscellaneous Cast-In Place Concrete
 - a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Miscellaneous Cast-In-Place Concrete required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.
8. 05 50 00.03 Metal Fabrications
 - a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2** shall provide all metal fabrication required for the Work of their Contract that is not indicated on the Architectural and/or Structural Drawings.
9. 06 10 00.03 Rough Carpentry
 - a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2** shall provide all rough carpentry required for the Work of their Contract that is not indicated on the Contract Drawings.
10. 07 84 13 Penetration Firestopping
 - a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2** shall provide openings in horizontal assemblies and fire and smoke rated walls that will leave a gap of no more than ½ inch between the sleeve and or adjacent construction at the penetrant. Coordinate sizing of sleeves, openings and core drilled or cut openings to ensure that penetration firestopping is installed according to specific requirement.
11. 07 92 00 Joint Sealants
 - a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2** shall provide all joint sealants required for the Work of their Contract.
 - 2) **Plumbing Work Contract #2** shall provide all joint sealants at the perimeter of all plumbing fixtures.
 - 3) **Plumbing Work Contract #2** shall seal all plumbing and fire protection penetrations at non-rated partitions.

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12. 08 31 13 Access Doors and Frames
- a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
- 1) **Plumbing Work Contract #2** shall furnish and locate access doors that are required for the Work of their Contract for installation by **General Trades Work Contract #1**. **Plumbing Work Contract #2** shall furnish all required access doors at a minimum of two weeks prior to **General Trades Work Contract #1** is scheduled to install.
13. 09 91 13 Exterior Painting
- a. Unless otherwise noted, **Plumbing Work Contract #2** shall provide all Work, complete, as required for painting of items for their contract scope of work only.
14. 09 91 23 Interior Painting
- a. Unless otherwise noted, **Plumbing Work Contract #2** shall provide all Work, complete, as required for painting of items for their contract scope of work only.
15. 11 31 13 Residential Appliances
- a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section:
- 1) **Plumbing Work Contract #2** shall provide service rough-in, drains, drain traps; valves, pipes and fitting; and other material required for final plumbing connections to new residential appliances. **Plumbing Work Contract #2** shall provide all final natural gas connections to residential appliances if necessary.
16. 11 40 00 Food Service Equipment
- a. **Plumbing Work Contract #2** shall only provide the following Work, complete, as specified in this Specification Section (and as indicated on food service drawings):
- 1) **Plumbing Work Contract #2** shall provide service rough-in, drain traps; atmospheric vents; valves, pipes and fitting; and other material required for final plumbing connections to new foodservice equipment. **Plumbing Work Contract #2** shall provide all final natural gas connections to food service equipment.
- 2) **Plumbing Work Contract #2** shall include installation of miscellaneous plumbing components supplied with the Foodservice equipment to include but not limited to: sink faucets and drains and interconnection between specific equipment.
- 3) **Plumbing Work Contract #2** shall install provide all work required for the complete connection of plumbing services to the manufacturer's foodservice equipment including drains located within the walk-in coolers.
- 4) Unless otherwise specified, **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work**

Contract #4 shall be responsible for all Work, complete, as specified and indicated as part of their Contract scope of work in this Specification Section, Kitchen Equipment Drawings and Project Documents. Any Kitchen Equipment and accessories not part of Owner supplied Kitchen Equipment, and required for the installation of the Work of **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** Contract over and beyond that which is indicated shall be provided at no additional costs.

~~17. 21 05 00 Common Work Results for Fire Suppression~~

- ~~a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.~~

18. 21 05 10 Firestopping

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

19. 21 05 17 Sleeves and Sleeve Seals for Fire-Suppression Piping

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

20. 21 05 18 Escutcheons for Fire-Suppression Piping

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

21. 21 05 53 Identification for Fire-Suppression Piping and Equipment

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

22. 21 13 13 Wet-Pipe Sprinkler Systems

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

23. 22 05 18 Escutcheons for Plumbing Piping

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

24. 22 05 23 General-Duty Valves for Plumbing Piping

- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

25. 22 05 29 Hangers and Supports for Plumbing Piping and Equipment

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- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
26. 22 05 53 Identification for Plumbing Piping and Equipment
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
27. 22 07 19 Plumbing Piping Insulation
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
28. 22 11 16 Domestic Water Piping
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
29. 22 11 19 Domestic Water Piping Specialties
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
30. 22 11 23 Facility Natural-Gas Piping
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **General Trades Work Contract #1** shall coordinate installation of new gas line service and meter with utility company in accordance with project schedule and per Construction Manager's direction. **General Trades Work Contract #1** shall provide all natural gas lines after the utility provided gas meter as indicated on the civil drawings to a minimum of two (2) feet into building with flange and capped. **Plumbing Work Contract #2** shall provide all Work as required to connect to the line provided by **General Trades Work Contract #1**. **General Trades Work Contract #1** shall provide mechanical (link) seal at foundation wall. **General Trades Work Contract #1** shall coordinate final grades, locations and sizing of piping with plumbing drawings and **Plumbing Work Contract #2**.
 - 2) **Plumbing Work Contract #2** shall provide all natural gas piping to within five (5) feet of all equipment provided by **Mechanical Work Contract #3** and terminate same with a gas cock. **Plumbing Work Contract #2** shall coordinate with **Mechanical Work Contract #3** for sizing of piping and locations of gas cock for this equipment.
31. 22 13 16 Sanitary Waste and Vent Piping
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

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32. 22 13 19 Sanitary Waste Piping Specialties
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
33. 22 14 13 Facility Storm Drainage Piping
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
34. 22 14 23 Storm Drainage Piping Specialties
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
35. 22 14 29 Sump Pumps
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
36. 22 34 00 Fuel-Fired, Domestic-Water Heaters
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
37. 22 42 13 Commercial Urinals
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
38. 22 42 14 Commercial Water Closets
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
39. 22 42 15 Commercial Lavatories
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section and as further clarified:
- 1) **Plumbing Work Contract #2** shall provide and set all lavatories in counters and coordinate with **General Trades Work Contract #1** who shall cut out opening for lavatories in counters when required.
40. 22 42 16 Commercial Sinks
- a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

- 41. 22 42 23 Commercial Showers, Receptors, and Basins
 - a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
- 42. 22 45 00 Emergency Plumbing Fixtures
 - a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.
- 43. 22 47 16 Electric Water Coolers
 - a. **Plumbing Work Contract #2** shall provide all Work, complete, as specified in this Specification Section.

44. OTHER WORK OF **PLUMBING WORK CONTRACT #2**

- a. Reference all Contract Drawings:
 - 1) **Plumbing Work Contract #2** shall provide all Work complete as indicated and as further clarified:
 - 1) **Plumbing Work Contract #2** shall provide all Work required to re-support any temporary lighting, fire alarm or power that is left unsupported as a result of the removals provided by this Contract.
 - 2) **Plumbing Work Contract #2** is to provide all supplementary lighting required to perform the required finish Work under this section.
 - 3) **Plumbing Work Contract #2** shall visit the site to verify and review existing conditions before estimating the cost of the project.
- b. **Plumbing Work Contract #2** shall provide all cutting and patching required and/or resulting from the work of this Contract **unless otherwise indicated in the Scope of Work**. All patching shall be completed prior to final finishes.
- c. **All Prime Contractors** shall provide and remove crane pad as required per OSHA regulations and as necessary for Scope of their Work.
- d. **Plumbing Work Contract #2** shall provide all new roof drains and associated cutting/penetration through roof and existing roof drain replacement work, refer to roof plan and/or plumbing drawings. **General Trades Work Contract #1** shall repair/patch abandoned roof drains holes as necessary to receive new roofing material. **Plumbing Work Contract #2** shall remove all existing roof drains as shown on project documents and plumbing drawings; and coordinate with **General Trades Work Contract #1** to patch locations accordingly.
- e. **General Trades Work Contract #1** shall provide sanitary and storm lines to within five (5) feet of where they enter the building and cap.
- f. **General Trades Work Contract #1** shall connect to grease interceptor specified in Division 22 Section, grease interceptor to be provided by **Plumbing**

- Contract #2. Plumbing Contract #2** shall provide all Work required to connect to the Work of **General Trades Work Contract #1** from five (5) feet outside of where lines enter the building. **Plumbing Contract #2** shall provide mechanical (link) seal at foundation wall. **General Trades Work Contract #1** shall coordinate all final grades and locations with plumbing drawings.
- g. **General Trades Work Contract #1** shall provide the domestic water line, for fire protection, to within five (5) feet of where they enter the building and cap. **Plumbing Contract #2** shall provide all Work as required to connect to the line provided by **General Trades Work Contract #1**. **Plumbing Contract #2** shall provide mechanical (link) seal at foundation wall. **Plumbing Contract #2** shall include costs to core drill foundation wall for new service, coordinate final elevations with civil drawings. **General Trades Work Contract #1** shall coordinate final grades and locations with fire protection drawings and **Plumbing Contract #2**.
- h. **General Trades Work Contract #1** shall provide the water service, for potable water into the building by a minimum of two (2) feet into the building with flange and capped. **Plumbing Contract #2** shall provide all Work as required to connect to the line provided by **General Trades Work Contract #1**. **General Trades Work Contract #1** shall provide mechanical (link) seal at foundation wall. **General Trades Work Contract #1** shall coordinate final grades and locations with plumbing drawings and **Plumbing Contract #2**.
- i. **Plumbing Work Contract #2** shall extend all roof vents above finished roof as indicated, refer to plumbing drawings, and coordinate with **General Trades Work Contract #1** for finished roof elevations. **General Trades Work Contract #1** shall patch/repair all existing abandoned vent holes refer to plumbing drawing. **Plumbing Work Contract #2** shall remove abandoned vents prior to hole patching by **General Trades Work Contract #1**.
- j. **General Trades Work Contract #1** shall remove all existing roof drains as indicated on drawings to bottom side of existing roof substrate and patch roof. **Plumbing Work Contract #2** shall remove existing roof drain piping from bottom of roof substrate and below.
- k. **Plumbing Work Contract #2** shall coordinate with **General Trades Work Contract #1** for all new roof drain installation and existing roof drain replacement work. **General Trades Work Contract #1** shall provide all roof drains and associated cutting/penetration through roof and **Plumbing Work Contract #2** shall provide roof leaders.
- l. **Plumbing Work Contract #2** shall furnish the **General Trades Work Contract #3** with all auxiliary embedded items that need to be installed within the **General Trades Work Contract #1** scope of work including sleeves, access doors, etc. Provide the products on a timely basis to avoid any delays in the scheduled completion of each phase.
- m. **Plumbing Work Contract #2** will be responsible for concrete floor saw cuts, removal and concrete replacement for access and completion of its work including underground services and utilities, (reference all drawings including Architectural, Plumbing for extent of removals and location of work to be removed).

- n. All final connections to building services and equipment and all fees for connection of building water are by the **Plumbing Work Contract #2**. Reference the Plumbing drawings for extent of this work.
- o. **Plumbing Work Contract #2** shall coordinate and install all gas, plumbing fittings, faucets and components when furnished by others plus any furnished by this Contract.
- p. **Plumbing Work Contract #2** is responsible for all final connections to plumbing equipment and mechanical equipment. The **Plumbing Work Contract #2** is also responsible for all disconnects for plumbing for equipment that has plumbing connected to it and is scheduled for removal or moving and relocation.
- q. **Plumbing Work Contract #2** shall fire caulk, fire safe etc. as necessary any place its Contract penetrates a fire rated system, not limited to hangers, supports, duct, pipe etc.
- r. **Plumbing Work Contract #2** shall maintain drainage of roofs during roof drain replacement. No standing water will be permitted.
- s. Any Plumbing contract shutdown, changeover and construction activity that causes interruption to utility services the **Plumbing Work Contract #2** shall provide temporary services for that interrupted utility

END OF SCOPE OF WORK PLUMBING WORK CONTRACT #2

F. SCOPE OF WORK – MECHANICAL WORK CONTRACT#3

Mechanical Work Contract #3 shall provide labor, material, plant, tools, equipment and supervision related to and/or necessarily involved with the performance of the Work, as indicated on all the Drawings, Specifications and/or Project Manual, and as set forth below. Work for **Contract #3** is generally described as Mechanical and more specifically described in this Scope of Work. “**Scope of work**” information indicated on more than one Prime Contractor’s Scope of Work. Consequently, each and every Prime Contractor is responsible for all information on each and every “**Scope of Work**” indicated for their Contract scope of work. **All Prime Contractors** are specifically forewarned that refer entire project documents as part of their Contract scope of work, including Specification 01 10 00.

1. DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS

- a. This Contractor shall include all Work in Division 00 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.

2. DIVISION 01 – GENERAL REQUIREMENTS

- a. This Contractor shall include all Work in Division 01 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.

3. 02 32 33 Photographic Documentation

- a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section as part of their Contract work.
4. 02 41 19.03 Selective Demolition
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.
 - b. **Mechanical Work Contract #3** shall be responsible for all demolition scope of work as required per Mechanical drawings, including existing mechanical control systems. Coordinate with other prime contractors as needed.
 - c. **Mechanical Work Contract #3** shall be responsible for cutting and capping, and disconnecting all mechanical components to allow asbestos abatement scope of work by others. Coordinate with other prime contractors as needed.
 - d. **Mechanical Work Contract #3** shall be responsible for cutting and capping, and disconnecting all mechanical components to allow kitchen equipment removal scope of work by others. Coordinate with other prime contractors as needed.
 - e. **Mechanical Work Contract #3** shall be responsible for all demolition scope of work as required per Mechanical drawings associated with Flue System. Coordinate with other prime contractors as needed. **General Trades Work Contract #1 shall be responsible for chimney removal.**
 - f. **Mechanical Work Contract #3** shall be responsible for installing permanent blank panel on all open ended duct work and end cap on mechanical piping as needed.
 5. 02 83 19 Removal of Lead Containing Material
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.
 6. 03 30 00 Cast-In-Place Concrete
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Mechanical Work Contract #3** shall provide cast-in-place concrete for housekeeping pads, including housekeeping pad not indicated on drawings, and size adjustment to those indicated, as required to complete the Work of **Mechanical Work Contract #3**.
 - 2) **General Trades Work Contract #1** shall install all embedded items and sleeves as furnished by **Mechanical Work Contract #3** at all cast-in-place concrete work and shall coordinate with the Work of **Mechanical Work Contract #3** to facilitate the accurate locations of the embedded items.
 - 3) **General Trades Work Contract #1** shall provide all box-outs at all cast-in-place concrete Work as required for the Work of **Mechanical Work Contract #3**.
 - 4) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Cast-In-Place Concrete required for the

Work of their Contract that are not indicated on the Architectural or Structural Drawings.

7. 03 30 53 Miscellaneous Cast-In Place Concrete
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Miscellaneous Cast-In-Place Concrete required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.
8. 05 50 00.03 Metal Fabrications
 - a. **Mechanical Work Contract #3** shall provide only the following Work, complete, as specified in this Specification Section:
 - 1) **Mechanical Work Contract #3** shall provide all metal fabrication required for the Work of their Contract that is not indicated on the Architectural and/or Structural Drawings.
9. 06 10 00.03 Rough Carpentry
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section
 - 1) **Mechanical Work Contract #3** shall provide all rough carpentry required for the Work of their Contract that is not indicated on the Contract Drawings.
10. 07 84 13 Penetration Firestopping
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Mechanical Work Contract #3** shall provide openings in horizontal assemblies and fire and smoke rated walls that will leave a gap of no more than ½ inch between the sleeve and or adjacent construction at the penetrant. Coordinate sizing of sleeves, openings and core drilled or cut openings to ensure that penetration firestopping is installed according to specific requirement.
11. 07 92 00 Joint Sealants
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Mechanical Work Contract #3** shall provide all joint sealants required for the Work of their Contract.
 - 2) **Mechanical Work Contract #3** shall seal all HVAC/Mechanical penetrations at non-rated partitions.

12. 08 31 13 Access Doors and Frames
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Mechanical Work Contract #3** shall furnish and locate access doors that are required for the Work of their Contract for installation by **General Trades Work Contract #1**. **Mechanical Work Contract #3** shall furnish all required access doors at a minimum of two weeks prior to **General Trades Work Contract #1** is scheduled to install.
13. 09 91 13 Exterior Painting
 - a. Unless otherwise noted, Mechanical Work Contract #3 shall provide all Work, complete, as required for painting of items for their contract scope of work only.
14. 09 91 23 Interior Painting
 - a. Unless otherwise noted, Mechanical Work Contract #3 shall provide all Work, complete, as required for painting of items for their contract scope of work only.
15. 11 30 13 Residential Appliances
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Mechanical Work Contract #3** shall provide final mechanical connections including venting/exhaust for new residential appliances as required.
16. 11 40 00 Food Service Equipment
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section (and as indicated on the food service drawings):
 - 1) **Mechanical Work Contract #3** shall **install** the kitchen exhaust hood complete and provide final connections, as specified. Unless otherwise specified, **Owner** shall supply Kitchen exhaust hood. **Mechanical Work Contract #3** shall provide field wrappers (wrapper panels) to finished ceiling as required.
 - 2) **Mechanical Work Contract #3** shall provide and install mechanical / electrical gas shut-off valve for exhaust hood. Sizing of valve is to be determined by **Mechanical Work Contract #3** on site.
 - 3) **Mechanical Work Contract #3** shall include installation of miscellaneous mechanical components supplied with the Foodservice equipment.
 - 4) Unless otherwise specified, **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall be responsible for all Work, complete, as specified and indicated as part of their Contract scope of work in this Specification Section, Kitchen Equipment Drawings and Project Documents. Any Kitchen Equipment and accessories not part of Owner supplied Kitchen Equipment, and required

for the installation of the Work of **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** Contract over and beyond that which is indicated shall be provided at no additional costs.

17. 22 11 23 Facility Natural-Gas Piping
 - a. **Mechanical Work Contract #3** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2** shall provide all natural gas piping to within two (2) feet of all equipment provided by **Mechanical Work Contract #3** and terminate same with a gas cock. **Mechanical Work Contract #3** shall provide all Work required for final connections to equipment from the gas cocks. **Plumbing Work Contract #2** shall coordinate with **Mechanical Work Contract #3** for sizing of piping and locations of gas cocks.
18. 23 05 00 Basic Mechanical Requirements
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.
19. 23 05 04 Electric Wiring
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.
20. 23 05 13 Motors
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.
21. 23 05 16 Expansion Loops
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.
22. 23 05 19 Gauges and Thermometers
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.
23. 23 05 23 Valves
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.
24. 23 05 30 Roof Curbs
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

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25. 23 05 48 Vibration Isolation of Mechanical Systems
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 26. 23 05 50 Wind Restraint for HVAC Systems
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 27. 23 05 53 Mechanical Identification
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 28. 23 05 93 Testing, Adjusting and Balancing
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 29. 23 07 10 Insulation
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 30. 23 09 23 Building Management System - Electronic DDC Logic
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 31. 23 20 10 Piping Systems and Accessories
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 32. 23 21 10 Water Systems Specialties
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 33. 23 21 23 Pumps
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 34. 23 31 00 Sheet Metal and Ductwork Accessories Construction

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- a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 35. 23 33 13 Fire and Smoke Dampers
 - a. **Mechanical Work Contract #5** shall provide all Work, complete, as specified in this Specification Section.

 - 36. 23 34 00 Fans
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 37. 23 36 00 Variable Volume Terminal Units
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 38. 23 37 13 Registers and Diffusers
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 39. 23 37 23.16 Louvers and Penthouses
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 40. 23 51 00 Prefabricated Flue Gas Venting System
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 41. 23 64 26.20 Air Cooled Packaged Chiller
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 42. 23 64 30 Refrigerant Vapor Monitoring System
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 43. 23 72 19 Dedicated Outdoor Air Unit
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 44. 23 73 13 Air Handling Units

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- a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 45. 23 74 23.16 Rooftop Direct Fired Gas Make-Up Air Unit
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 46. 23 81 26.11 Ductless Split System Air Conditioner
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 47. 23 82 14 Ceiling Mounted Vent Units (Option 1)
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 48. 23 82 35 Gravity Heating Equipment (Hydronic)
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 49. 23 82 39 Unit Heaters and Cabinet Unit Heaters
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 50. 23 83 16.10 Radiant Panel Ceiling Heat
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section.

 - 51. 31 20 00 Earthwork
 - a. **Mechanical Work Contract #3** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.

 - 52. OTHER WORK OF **Mechanical Work Contract #3**:
 - a. Reference all Contract Drawings:
 - 1) **Mechanical Work Contract #3** shall provide all Work complete as indicated and as further clarified:
 - 2) **Mechanical Work Contract #3** shall provide all Work required to re-support any temporary lighting, fire alarm or power that is left unsupported as a result of the removals provided by this Contract.
 - 3) **Mechanical Work Contract #3** is to provide all supplementary lighting required to perform the required finish Work under this section.

- 4) **Mechanical Work Contract #3** shall visit the site to verify and review existing conditions before estimating the cost of the project.
- b. **Mechanical Work Contract #3** shall provide all cutting and patching required and/or resulting from the work of this Contract **unless otherwise indicated in the Scope of Work**. All patching shall be completed prior to final finishes.
- c. **All Prime Contractors** shall provide and remove crane pad as required per OSHA regulations and as necessary for Scope of their Work.
- d. The work required for the installation of roof-top equipment furnished by **Mechanical Work Contract #3** shall be clarified as follows:
 - 1) **Mechanical Work Contract #3** shall provide all prefabricated curbs and equipment supports, as required for the work of **Mechanical Work Contract #3**.
 - 2) **General Trades Work Contract #1** shall provide all support framing as indicated on the Structural and Architectural Drawings; all other required support framing shall be provided by **Mechanical Work Contract #3**.
 - 3) **Mechanical Work Contract #3** shall layout the curb and equipment support locations, cut and remove the roof deck and provide all required rough carpentry, curbs and equipment supports.
 - 4) **General Trades Work Contract #1** shall provide all flashing where units are indicated on the roof plan of the Architectural Drawings. **General Trades Work Contract #1** shall provide and maintain temporary weather tight enclosures at all roof openings either where existing equipment has been removed or where new roof openings have been established and the equipment has not yet been installed.
- e. Penetrations at New and Existing Roof Areas:
 - 1) **Mechanical Work Contract #3** shall provide all cutting, removals, rough carpentry, steel support angles, etc., required for the roof openings that are required for the work of this Contract, not indicated on the structural or architectural drawings. **General Trades Work Contract #1** shall provide flashing work for this Contract as indicated on the roofing plans **Mechanical Work Contract #3** shall review the roofing plans and compensate **General Trades Work Contract #1** for roofing work required for the work of this Contract, but not indicated on the roofing plans.
 - 2) **General Trades Work Contract #1** shall provide and maintain temporary weather tight enclosure at all roof openings either where the existing equipment has been removed or where new roof openings have been established and the equipment has not yet been installed.
 - 3) **Mechanical Work Contract #3** shall remove all roof top equipment (exhaust fans/hoods/curbs, etc) as indicated on drawings. **General Trades Work Contract #1** shall remove all existing mechanical equipment curbs and prepare for new roofing and details unless note indicated for curb to be re-used or removed by **Mechanical Work Contract #3**.
- f. **Mechanical Work Contract #3** shall provide, maintain and remove, as required and as directed by the Construction Manager, temporary enclosures at all air

inlets and outlets that are located in construction areas. The enclosures shall be constructed so as to prevent the infiltration of dust, dirt, debris, etc., into the new ductwork and shall be installed so as to allow for the completion of the work of other Contracts. **Mechanical Work Contract #3** shall provide patching and painting as required of all finishes damaged as a result of the installation and removal of the temporary enclosures.

- g. **Mechanical Work Contract #3** shall commit to providing sequenced submittals and shop drawings for all products and materials related to the scope of Work per Critical submittal list and Milestone schedule. **This includes but not limited to all long lead mechanical equipment, AHUs and Chillers, etc.**
- h. **Mechanical Work Contract #3**, at the time of startup of the Air Handling Units and Fans, shall provide, maintain and remove filter media at all air outlets and inlets to prevent dust infiltration.
- i. **Mechanical Work Contract #3** shall furnish the **General Trades Work Contract #1** with all auxiliary embedded items that need to be installed within the General Trades scope of work including sleeves, access doors, etc. Furnish the products on a timely basis to avoid any delays in the scheduled completion of each phase.
- j. **Mechanical Work Contract #3** shall fire caulk, fire safe etc. as necessary any place its Contract penetrates a fire rated system, including but not limited to, hangers, supports, duct, pipe etc.
- k. **Mechanical Work Contract #3** shall responsible for patching and painting of all holes for old thermostats and other temperature control devices removed and/or relocated.
- l. **Mechanical Work Contract #3** shall provide all conduits, raceway and wire mold to provide new controls at equipment and locations specified.
- m. **Mechanical Work Contract #3** shall be responsible to insulate all newly installed piping for the work of the HVAC contract.
- n. Perform preconstruction inspection of existing equipment that is to remain and be reused. Record operating speed, airflow and static pressure of each fan. Measure motor voltage and amperage and compare to motor nameplate information. Check and report the conditions of existing coils, filters, strainers and bearings. Report on operating conditions and deficiencies and submit findings to Architect, Mechanical Engineer and Construction Manager prior to beginning work.
- o. Any HVAC contract shutdown, changeover or construction activity that causes interruption to utility services the **Mechanical Work Contract #3** shall provide temporary services for that interrupted utility.
- p. Where new ductwork is shown for connection to existing duct, the **Mechanical Work Contract #3** shall clean the existing duct system inside and out.
- q. **Mechanical Work Contract #3** shall be responsible for replacing filters at the time of all mechanical equipment startup and turning over two additional sets of filters for all equipment as turnover material to Owner.

- r. **Mechanical Work Contract #3** is specifically forewarned to refer entire project documents and provide all support/framing as required for Wind Restraint structures, including above or below of roof decking or structure.

END OF SCOPE OF WORK MECHANICAL WORK CONTRACT #3

G. SCOPE OF WORK – ELECTRICAL WORK CONTRACT#4

Electrical Work Contract #4 shall provide labor, material, plant, tools, equipment and supervision related to and/or necessarily involved with the performance of the Work, as indicated on all the Drawings, Specifications and/or Project Manual, and as set forth below. Work for **Contract #4** is generally described as Electrical and more specifically described in this Scope of Work. “**Scope of work**” information indicated on more than one Prime Contractor’s Scope of Work. Consequently, each and every Prime Contractor is responsible for all information on each and every “**Scope of Work**” indicated for their Contract scope of work. **All Prime Contractors** are specifically forewarned that refer entire project documents as part of their Contract scope of work, including Specification 01 10 00.

1. DIVISION 00 – PROCUREMENT AND CONTRACTING REQUIREMENTS

- a. This Contractor shall include all Work in Division 00 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.

2. DIVISION 01 – GENERAL REQUIREMENTS

- a. This Contractor shall include all Work in Division 01 as assigned in the SCOPE OF WORK – ALL CONTRACTS in this Summary of Work.

3. 02 32 33 Photographic Documentation

- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section as part of their Contract work.

4. 02 41 19.03 Selective Demolition

- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.
- b. **Electrical Work Contract #4** shall be responsible for all demolition scope of work as required per Electrical drawings. Coordinate with other prime contractors as needed.
- c. **Electrical Work Contract #4** shall be responsible for disconnecting all electrical components to allow asbestos abatement scope of work by others. Coordinate with other prime contractors as needed.
- d. **Electrical Work Contract #4** shall be responsible for disconnecting all electrical systems to allow kitchen equipment removal scope of work by others. Coordinate with other prime contractors as needed.

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5. 02 83 19 Removal of Lead Containing Material
 - a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract.

 6. 03 30 00.03 Cast-In-Place Concrete
 - a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract, and as further clarified:
 - 1) **Electrical Work Contract #4** shall provide cast-in-place concrete for housekeeping pads, including housekeeping pad not indicated on drawings, and size adjustment to those indicated, as required to complete the Work of **Electrical Work Contract #4**.
 - 2) **General Trades Work Contract #1** shall install all embedded items and sleeves as furnished by **Electrical Work Contract #4** at all cast-in-place concrete work and shall coordinate with the Work of **Electrical Work Contract #4** to facilitate the accurate locations of the embedded items.
 - 3) **General Trades Work Contract #1** shall provide all box-outs at all cast-in-place concrete Work as required for the Work of **Electrical Work Contract #4**.
 - 4) **Electrical Work Contract #4** shall provide all concrete, complete for all site electrical Work and electrical duct banks.
 - 5) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Cast-In-Place Concrete required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.

 7. 03 30 53 Miscellaneous Cast-In Place Concrete
 - a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall provide all Miscellaneous Cast-In-Place Concrete required for the Work of their Contract that are not indicated on the Architectural or Structural Drawings.

 8. 05 50 00.03 Metal Fabrications
 - a. **Electrical Work Contract #4** shall provide only the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all metal fabrication required for the Work of their Contract that are not indicated on the Architectural and/or Structural Drawings

 9. 06 10 00.03 Rough Carpentry

- a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section
 - 1) **Electrical Work Contract #4** shall provide all rough carpentry required for the Work of their Contract that is not indicated on the Contract Drawings.

- 10. 07 84 13 Penetration Firestopping
 - a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide openings in horizontal assemblies and fire and smoke rated walls that will leave a gap of no more than ½ inch between the sleeve and or adjacent construction at the penetrant. Coordinate sizing of sleeves, openings and core drilled or cut openings to ensure that penetration firestopping is installed according to specific requirement.

- 11. 07 92 00 Joint Sealants
 - a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all joint sealants required for the Work of their Contract.
 - 2) **Electrical Work Contract #4** shall seal all penetrations created by **Electrical Work Contract #4** at non-rated partitions.

- 12. 08 31 13 Access Doors and Frames
 - a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall furnish and locate access doors that are required for the Work of their Contract for installation by **General Trades Work Contract #1**. **Electrical Work Contract #4** shall furnish all required access doors at a minimum of two weeks prior to **General Trades Work Contract #1** is scheduled to install.

- 13. 08 71 00 Door Hardware
 - a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
 - 1) **General Trades Work Contract #1 and Electrical Work Contract #4** shall refer to Specification Section 28 13 00 Access Control, Responsibility Matrix for scope of work related to ADA door operators, card readers, door contacts etc.
 - 2) **General Trades Work Contract #1** shall furnish and turn over all mag holds to **Electrical Work Contract #4** for installation.

- 14. 09 91 13 Exterior Painting

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- a. Unless otherwise noted, Mechanical Work Contract #3 shall provide all Work, complete, as required for painting of items for their contract scope of work only.
15. 09 91 23 Interior Painting
- a. Unless otherwise noted, Mechanical Work Contract #3 shall provide all Work, complete, as required for painting of items for their contract scope of work only.
16. 10 22 39.36 Electrically Operated Folding Panel Partitions
- a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
- 1) **Electrical Work Contract #4** shall provide all Work required to provide controls, signal, power and final electrical connection to Stationary Loading Dock Equipment.
17. 11 13 19 Stationary Loading Dock Equipment
- a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
- 1) **Electrical Work Contract #4** shall provide all Work required to provide controls, power and final electrical connection to Stationary Loading Dock Equipment.
18. 11 30 13 Residential Appliances
- a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section:
- 1) **Electrical Work Contract #4** shall provide final electrical connections for new residential appliances as required.
19. 11 40 00 Food Service Equipment
- a. **Electrical Work Contract #4** shall only provide the following Work, complete, as specified in this Specification Section (and as indicated on food service drawings):
- 1) **Electrical Work Contract #4** shall provide all final electrical connections to new foodservice equipment.
- 2) **Electrical Work Contract #4** shall include installation of miscellaneous electrical components supplied with the Foodservice equipment to include but not limited to: control switches and interconnection between specific equipment.
- 3) Microswitches will be provided with the exhaust hood / fire suppressions system for interconnection to the building fire alarm system and to shut-off all electrical equipment under the hood system when the fire suppression system is activated. **Electrical Work Contract #4** shall complete all connections to microswitches and building fire alarm system.

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- 4) Unless otherwise specified, **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** shall be responsible for all Work, complete, as specified and indicated as part of their Contract scope of work in this Specification Section, Kitchen Equipment Drawings and Project Documents. Any Kitchen Equipment and accessories not part of Owner supplied Kitchen Equipment, and required for the installation of the Work of **General Trades Work Contract #1, Plumbing Work Contract #2, Mechanical Work Contract #3 and Electrical Work Contract #4** Contract over and beyond that which is indicated shall be provided at no additional costs.
20. 11 66 23 Gymnasium Equipment
- a. **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
- 1) **Electrical Work Contract #4** shall provide all Work required to provide power, controls and final electrical connection to Gymnasium Equipment.
21. 14 24 40 Hydraulic Elevators
- a. **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
- 1) **Electrical Work Contract #4** shall provide all Work required for power, controls, fire alarm wiring/upgrades and final electrical connection to Hydraulic Elevator. Coordinate with **General Trades Work Contract #1** and other trades.
22. 14 42 00 Wheelchair Lifts
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
- 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Sump Pumps. Coordinate with **General Trades Work Contract #1** and other trades.
23. 22 14 29 Sump Pumps
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
- 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Sump Pumps.
24. 22 47 16 Water Coolers
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:

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- 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Water Coolers.
25. 23 21 23 Pumps
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Pumps.
26. 23 33 13 Fire and Smoke Dampers
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Pumps.
27. 23 34 00 Fans
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to fans.
28. 23 36 00 Variable Volume Terminal Units
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) Unless otherwise specified, **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Variable Volume Terminal Units.
29. 23 64 26.20 Air Cooled Rotary Screw Water Chiller
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Air Cooled Rotary Screw Water Chiller.
30. 23 64 30 Refrigerant Vapor Monitoring System
- 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Refrigerant Vapor Monitoring System.

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31. 23 72 19 Dedicated Outdoor Air Unit
 - 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Dedicated Outdoor Air Unit.

 32. 23 73 13 Air Handling Units - Indoor and Penthouse
 - 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Air Handling Units - Indoor and Penthouse.

 33. 23 74 23.16 Rooftop Direct Fired Gas Make-Up Air Unit
 - 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) Unless otherwise, **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Rooftop Direct Fired Gas Make-Up Air Unit.

 34. 23 81 26.11 Ductless Split System Air Conditioner
 - 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) Unless otherwise, **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Ductless Split System Air Conditioner.

 35. 23 82 14 Ceiling Mounted Vent Units
 - 1) **Electrical Work Contract #4** shall provide the following Work, complete, as specified in this Specification Section:
 - 1) Unless otherwise, **Electrical Work Contract #4** shall provide all Work required to provide power and final electrical connection to Ceiling Mounted Vent Units.

 36. 26 05 00 Basic Electrical Requirements
 - a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.

 37. 26 05 01 Basic Materials and Methods
 - a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.

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38. 26 05 26 Grounding
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
39. 26 08 00 Commissioning of Electrical Systems
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
40. 26 20 00 Electric Distribution
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
41. 26 27 13 Electric Service
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
42. 26 32 13 Power Generation - Generators, Automatic Transfer Switches and Accessories
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
43. 26 41 13 Lightning Protection
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
44. 26 50 00 Lighting
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
45. 27 05 10 Communications, General
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Communications equipment and accessories not part of Owner supplied Communications equipment, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.

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46. 27 10 00 Local Area Network Wiring System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Local Area Network Wiring System and accessories not part of Owner supplied Local Area Network Wiring System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
47. 27 21 00 Local Area Network System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Local Area Network System and accessories not part of Owner supplied Local Area Network System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
48. 27 30 00 Telecommunications System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Telecommunications System and accessories not part of Owner supplied Telecommunications System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
49. 27 32 10 IP Telecommunications System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any IP Telecommunications System and accessories not part of Owner supplied IP Telecommunications System, and required for the installation of the Work of this

Contract over and beyond that which is indicated shall be provided at no additional costs.

50. 27 41 02 Classroom Amplification System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Classroom Amplification System and accessories not part of Owner supplied Classroom Amplification System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
51. 27 41 15 All-In-One Component/Unit
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any All-In-One Component/Unit System and accessories not part of Owner supplied All-In-One Component/Unit System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
52. 27 41 17 Video System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Video System and accessories not part of Owner supplied Video System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
53. 27 41 18 Audio Entry System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Audio Entry System and accessories

not part of Owner supplied Audio Entry System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.

54. 27 41 20 Interactive Whiteboard with Integral Projector (IWB)
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Interactive Whiteboard with Integral Projector and accessories not part of Owner supplied Interactive Whiteboard with Integral Projector, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
55. 27 51 13 Public Address (PA) System (Sound Reinforcement) (Gymnasium)
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;
- 1) **Electrical Work Contract #4** shall responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Public Address (PA) System and accessories not part of Owner supplied Public Address (PA) System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
56. 27 53 13 Synchronous Clock and Program Systems
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
57. 28 13 00 Access Control System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
58. 28 16 00 Intrusion Detection System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
59. 28 23 00.20 Closed Circuit Television Surveillance System (Digital)
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section and as further clarified;

- 1) **Electrical Work Contract #4** shall be responsible to install Owner furnished items. **Electrical Work Contract #4** is specifically forewarned that refer entire project documents as part of their Contract scope of work. Any Closed Circuit Television Surveillance System and accessories not part of Owner supplied Closed Circuit Television Surveillance System, and required for the installation of the Work of this Contract over and beyond that which is indicated shall be provided at no additional costs.
60. 28 31 02 Analog Addressable Fire Alarm System
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section.
61. 31 20 00 Earthwork
- a. **Electrical Work Contract #4** shall provide all Work, complete, as specified in this Specification Section, as required for the Work of this Contract, including stone/rock removal.
62. OTHER WORK OF **ELECTRICAL WORK CONTRACT #4**
- a. Reference all Contract Drawings:
 - 1) **Electrical Work Contract #4** shall provide all Work complete as indicated and as further clarified:
 - 1) **Electrical Work Contract #4** shall provide all Work required to re-support any temporary lighting, fire alarm or power that is left unsupported as a result of the removals provided by this Contract.
 - 2) **Electrical Work Contract #4** is to provide all supplementary lighting required to perform the required finish Work under this section.
 - 3) **Electrical Work Contract #4** shall visit the site to verify and review existing conditions before estimating the cost of the project.
 - b. **Electrical Work Contract #4** shall provide all cutting and patching required and/or resulting from the work of this Contract **unless otherwise indicated in the Scope of Work**. All patching shall be completed prior to final finishes.
 - c. **All Prime Contractors** shall provide and remove crane pad as required per OSHA regulations and as necessary for Scope of their Work.
 - d. **Electrical Work Contract #4** shall not shut down any existing utilities, services, systems, etc., without the written approval of the Construction Manager. **Electrical Work Contract #4** shall provide a minimum of seventy-two (72) hours' notice of any shut down and shall indicate in writing what services is intended to be shut down, the duration of the shut down, and the area of the building that will be affected by the shutdown. All shut downs shall be continuously manned until such service is fully restored. Any Electrical work contract shutdown, changeover or construction activity that causes interruption

to utility services the **Electrical Work Contract #4** shall provide temporary services for that interrupted utility.

- e. **Electrical Work Contract #4** shall provide all fire alarm and power wiring for Smoke Curtains, Smoke Hatches, Duct Smoke detectors and Fire/Smoke Dampers and make final connections.
- f. **Electrical Trades Contract #4** shall be solely responsible for receiving, unloading, storage, protection from all damages, moving or transporting, all required hoisting, installation, placing in service, all testing, all applicable inspections and permits required for all Owner furnished equipment as part of the electrical trade contract.
- g. **Electrical Trades Contract #4** shall be responsible for custody and providing insurance coverage for all Owner furnished equipment as part of electrical trade contract since the day of receiving from Owner.
- h. **Electrical Trades Contract #4** shall be responsible for new concrete pad and bollards for transformer scope of work.

END OF SCOPE OF WORK ELECTRICAL WORK CONTRACT #4

1.12 OWNER OCCUPANCY

- A. The Owner will not occupy the building during construction.

1.13 WORK UNDER OTHER CONTRACTS

- A. Separate Contract: Owner will award separate contracts for performance of certain construction operations at Project site. Those operations will be conducted simultaneously with Work under this Contract.
- B. Cooperate fully with separate contractors so Work on those contracts may be carried out smoothly, without interfering with or delaying Work under this Contract.

1.14 PRODUCTS ORDERED IN ADVANCE

- A. Not Applicable

1.15 OWNER FURNISHED AND CONTRACTOR INSTALLED PRODUCTS

- A. Kitchen Equipment
- B. Network Electronics
- C. Voice Over IP Handsets
- D. Classroom Presentation Systems
- E. Classroom Soundfield
- F. Video Surveillance
- G. Other Items Specified in Project Documents.

1.16 SPECIFICATION FORMATS AND CONVENTIONS

- A. Specification Format: The Specifications are organized into Divisions and Sections using the CSI/CSC's "Master Format" numbering system.
 - 1. Section Identification: The Specifications use section numbers and titles to help cross-referencing in the Contract Documents. Sections in the Project Manual are in numeric sequence; however, the sequence is incomplete. Consult the table of contents at the beginning of the Project Manual to determine numbers and names of sections in the Contract Documents.
- B. Specification Content: The Specifications use certain conventions for the style of language and the intended meanings of certain terms, words, and phrases when used in particular situations. These conventions are as follows:
 - 1. Abbreviated Language: Language used in the Specifications and other Contract Documents is abbreviated. Words and meanings shall be interpreted as appropriate. Words implied, but not stated, shall be inferred, as the sense requires. Singular words shall be interpreted as plural and plural words shall be interpreted as singular where applicable as the context of the Contract Documents indicates.
 - 2. Imperative mood and streamlined language are generally used in the Specifications. Requirements expressed in the imperative mood are to be performed by Contractor. Occasionally, the indicative or subjunctive mood may be used in the Section Text for clarity to describe responsibilities that must be fulfilled indirectly by Contractor or by others when so noted.
 - a. The words "shall," "shall be," or "shall comply with," depending on the context, are implied where a colon (:) is used within a sentence or phrase.

END OF SECTION 01 10 00

SECTION 01 29 76 - PROGRESS PAYMENT PROCEDURES

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

1. Drawings and general provisions of Contract, including General Conditions and Division 01 Specification sections, apply to work of this section.
2. Section 01 29 75 – Revolving Loan Program

1.02 REQUIRED SCHEDULE OF VALUES

1. The Contract shall submit a schedule of values per milestone. Refer to Section 00 72 16 - General Conditions. Itemize schedule of values per separate SED Control Numbers, and by Additions and Reconstruction when applicable.
2. The schedule of values (updated and revised) shall be submitted on AIA G-702/703CMA forms. The Contractor and each Subcontractor shall prepare a trade payment breakdown for the Work for which each is responsible, such breakdown shall be divided in detail sufficient to exhibit areas, floors and/or sections of the Work, and/or by convenient units and shall be updated as required by either the Owner or the Architect as necessary to reflect (1) description of Work (listing labor and material separately in some instances), (2) total value, (3) percent of the Work completed to date, (4) value of Work completed to date, (5) percent of previous amount billed, (6) previous amount billed, (7) current percent completed and (8) value of work completed to date. Any trade breakdown which fails to include sufficient detail, is unbalanced or exhibits “front loading” of the value of the Work shall be rejected. If trade breakdown had been initially approved and subsequently used, but later found improper for any reason, sufficient funds shall be withheld from future Applications for Payment to ensure an adequate reserve (exclusive of normal retainage) to complete the Work. Breakdown shall include multiple construction site, multiple locations within each site, additions versus renovation work, etc. as required to satisfy NY State Education Department requirements.

1.03 PAYMENTS

1. All applications for partial or final payment shall be submitted, through the Construction Manager to RJSCB in triplicate, on AIA G-702/703CMA and other forms furnished by the RJSCB and the Independent Compliance Officer, and submission schedule provided by the Program Manager, and in compliance with forms acceptable to the Owner, Owner’s lender, and Architect. Contractor shall supply such additional documentation and information as Owner’s lender or the Construction Manager shall request in connection with each disbursement to Contractor.
2. All applications for partial or final payment associated with Smart Schools Investment Plan items shall be in separate payment applications and forms furnished by the Owner and CM. In addition, Contractor must provide back-up documents and invoices upon request of Owner and CM.

3. All applications for monthly and/or final payment must include certified payroll records for each week included in that payment period for all contractors and subcontractors. M/WBE forms required by Section 00 43 31 of the project Manual shall also be included with each payment application and must be approved by the ICO as set forth in that Section. Contractors and subcontractors are required to keep original payroll records or transcripts for a period of three years from date of final payment, or as required by New York State and U.S. Departments of Labor.
4. All applications for partial payment submitted for approval that include stored materials shall include a Certificate of Stored Materials indicating an itemized value of the materials stored, the location the materials are stored at and referring to the project name and date of inventory. Materials stored off site must be either in a bonded warehouse or a storage facility owned by the Contractor. A rider from the Contractor's insurance company to cover off-site material is also required. Submit along with the payment request evidence of adequate insurance. Refer also to Section 007216 "General Conditions," the terms of which shall prevail in the event they conflict with the provisions set forth in this Section 01 29 76.
5. Payments by Owner and Contractor shall be in accordance with Section 00 72 16 - General Conditions. Contractors must include an Interim Lien Waiver in the form included in this Section, or such updated form as may from time to time be provided by the Owner or Construction Manager. In addition, Contractor must provide subcontractor back-up invoices upon request of Owner.
6. Initial Application for Payment: Approved administrative actions and approved submittals that must precede (see milestone requirements) or coincide with submittal of first Application of Payment as a condition of payment include but are not necessarily limited to the following:
 1. List of Subcontractors.
 2. Schedule of Values.
 3. Contractor's Construction Schedule.
 4. Submittal Schedule.
 5. List of long lead time material.
 6. Certificates of insurance (Contractor and Subcontractors)
 7. Performance and payment bonds.
 8. Log of Tradesmen's OSHA 10 certificates.
 9. M/WBE Section 00 43 31 DP-1, Letter of Intent to Perform, and forms cited therein.
7. Progress Application for Payment: Administrative actions and submittals that must be included with submittal of initial or subsequent Progress Applications for Payment include, but are not limited to the following:
 1. M/WBE Section 00 43 31 monthly progress reporting forms.
 2. Certified Payroll Reports.
 3. Monthly Safety Report.
 4. Construction Progress Reports.
 5. Progress Construction Schedule (original schedule versus actual).
 6. Submittal Schedule.

7. Interim Lien Waivers (from Prime, sub, sub-sub, suppliers).
 8. Subcontractor back-up invoices.
 10. Rochester Careers in Construction (15-cent) letter
 9. Stored material documentation (Bill of lading, photos, insurance)
 10. Updated Log of Tradesmen's OSHA 10 certificates
 11. Updated Log of Hot Work permits
8. Submit along with the final payment request all required documentation as set forth above, including Final Lien Waivers and Releases, Warranty Agreements, No-Asbestos Statement, Operating and Maintenance Manuals, Consent of Surety, Contractor's Certification and Subcontractor's Certifications, and all other close-out documentation reasonably requested by Owner.

ATTACHMENTS TO FOLLOW AS SECTION 01 29 76B

END OF SECTION 01 29 76

SECTION 01 31 13 – CONTRACT COORDINATION

PART 1 - GENERAL

1.1 RELATED DOCUMENTS

- A. Drawings and general provisions of the Contract, including General Conditions of the Contract for Construction, and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. This Section includes administrative provisions for coordinating construction operations on Project including, but not limited to, the following:
 - 1. Coordination Drawings.
 - 2. Administrative and supervisory personnel.
 - 3. Project meetings.
 - 4. Requests for Information (RFIs).
- B. Each contractor shall participate in coordination requirements. Certain areas of responsibility will be assigned to a specific contractor.
- C. Related Sections include the following:
 - 1. Division 01 Section "Summary of Work" for a description of the division of Work and responsibility for coordination activities not in this Section.
 - 2. Division 00 Section "Milestone Schedule and Critical Submittals" for preparing and submitting Contractor's Construction Schedule.
 - 3. Division 01 Section "Use of Site" for procedures for coordinating general installation and field-engineering services, including establishment of benchmarks and control points.
 - 4. Division 01 Section "Closeout Procedures" for coordinating closeout of the Contract.

1.3 DEFINITIONS

- A. RFI: Request for information from Contractor seeking interpretation or clarification of the Contract Documents.

1.4 COORDINATION

- A. Coordination: Coordinate construction operations included in different Sections of the Specifications to ensure efficient and orderly installation of each part of the Work. Coordinate construction operations included in different Sections that depend on each other for proper installation, connection, and operation.

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- B. Coordination: Each contractor shall coordinate its construction operations with those of other contractors and entities to ensure efficient and orderly installation of each part of the Work. Each contractor shall coordinate its operations with operations included in different Sections that depend on each other for proper installation, connection, and operation.
1. Schedule construction operations in sequence required to obtain the best results where installation of one part of the Work depends on installation of other components, before or after its own installation.
 2. Coordinate installation of different components with other contractors to ensure maximum accessibility for required maintenance, service, and repair.
 3. Make adequate provisions to accommodate items scheduled for later installation.
 4. Where availability of space is limited, coordinate installation of different components to ensure maximum performance and accessibility for maintenance, service and repair.
- C. Prepare memoranda for distribution to each party involved, outlining special procedures required for coordination. Include such items as required notices, reports, and list of attendees at meetings.
1. Prepare similar memoranda for Owner and separate contractors if coordination of their Work is required.
- D. Administrative Procedures: Coordinate scheduling and timing of required administrative procedures with other construction activities and activities of other contractors to avoid conflicts and to ensure orderly progress of the Work. Such administrative activities of each Contract include, but are not limited to, the following:
1. Preparation of Contractor's Construction Schedule.
 - a.) Contractor for Abatement Demolition to prepare initial Construction Schedule, get durations and finalize for submission to Architect and Construction Manager.
 2. Preparation of the Schedule of Values.
 3. Installation and removal of temporary facilities and controls.
 4. Delivery and processing of submittals.
 5. Progress meetings.
 6. Pre-installation conferences.
 7. Project closeout activities.
 8. Startup and adjustment of systems.
 9. Training
- E. Conservation: Coordinate construction activities to ensure that operations are carried out with consideration given to conservation of energy, water, and materials.
1. Salvage materials and equipment involved in performance of, but not actually incorporated into, the Work. Refer to other Sections for disposition of salvaged materials that are designated as Owner's property.

1.5 SUBMITTALS

- A. Product Data, Shop Drawings, Coordination Drawings, Color Samples, etc. will all be submitted for Architect Approval. This project will utilize Submittal Exchange as decided by Owner.
- B. Coordination Drawings: Separate prime Contracts to coordinate and prepare Coordination Drawings for efficient installation of different components or if coordination is required for installation of products and materials fabricated by separate entities.

1. DRAWINGS FOR GENERAL CONSTRUCTION, MECHANICAL, PLUMBING FIRE PROTECTION AND ELECTRICAL WORK

- a. Drawings contain diagrammatic layouts and indicate general arrangement of systems, piping conduit, etc.
- b. Prior to installation of material and equipment, review and coordinate work with Architectural and Structural Drawings for exact space conditions, where not readily discernible request information from Architect before proceeding.
- c. Check Drawings of all other trades to verify extent of material and equipment to be installed in spaces available and consider layout alternatives so that all requirements can be accommodated.
- d. Maintain maximum headroom at all locations without finished ceilings.
- e. Maintain finished ceiling heights as indicated.
- f. Coordinate installations with other trades to prevent conflict with work of other trades and cooperate in making reasonable modifications in layout as needed.
- g. Where conflicts occur with placement of mechanical and electrical materials as they relate to placement of other building materials, the Field Architect and Construction Manager shall be consulted for assistance in coordination of the available space to accommodate all trades.

2. PRIORITY OF CONSTRUCTION SPACE

- a. Following is the Order of Priority for Construction Space:
Not Applicable

3. COORDINATION DRAWINGS

The Mechanical Work Contract#3 shall prepare background drawings to be used as the basis for coordination drawings in all areas and distribute to others for their use. The Mechanical Work Contract #3/subcontractor shall be responsible to prepare a confirmed/final set of co-ordination drawings to incorporate a clash free, coordinated input from other trades at a scale of minimum 1/4" equals 1'-0". The Mechanical Work Contract#3 shall be responsible for facilitating clash detection process and co-ordination drawing process.

1) The construction documents in their original, copies or electronic file form are the Architect's instrument of service and are protected under copyright laws.

- 2) The reproduction of these documents for use as coordination drawings or shop drawings is prohibited without the Architect's written consent and authorization.
- 3) Each contractor shall prepare a coordination drawing indicating their work, with appropriate elevations and grid dimensions.
- 4) Each contractor shall be responsible to co-ordinate with other trades and resolve co-ordination drawing conflicts.
- 5) Each contractor shall sign and date the confirmed/final Coordination Drawing after the addition of his information representing acceptance of co-ordination drawings.
- 5) Fabrication shall not start until receipt of completed coordination drawings is acknowledged by the Construction Manager in writing to the Architect.
- 6) Contractors and Specialty Trades (including, but not limited to):
 - a) Masonry and Precast
 - b) Structural Steel
 - c) Ductwork
 - d) Fire protection piping
 - e) Other piping
 - f) Electrical
- 7) Coordination Drawings required for all corridors, rooms, horizontal exits from duct shafts, crossovers and any other areas where congestion of work may occur.
- 8) They shall incorporate the following line color pattern:
 - a) Fire Protection – Red
 - b) Electrical – Blue
 - c) Plumbing – Green
 - d) Duct Work – Lavender
 - e) Reflected Ceiling – Light Green
 - f) Walls – Black and Shaded
 - g) HVAC - Orange
- 9) Each contractor shall include a Schedule of Value line item in payment application reflecting cost for co-ordination drawings. Each contractor shall include a cost for latest version of Autodesk Revit, AutoCAD, and Navisworks for the duration of project. All co-ordination drawings shall be prepared in latest version of such Autodesk Revit, AutoCAD, and Navisworks software acceptable to Construction Manager and Consultant.
- 10) Each contractor shall provide Coordination Drawings for all areas or as determined by the Construction Manager. These Drawings shall be completed by a qualified draftsman. All Architectural features will be detailed clearly, i.e. permanent casework, interior columns & beams, partitions, finish ceiling and roof elevations, etc., as well as all HVAC, sprinkler, plumbing and electrical Work. Owner supplied items shall be incorporated into co-ordination drawings and installation contractor shall be responsible for such items.
- 11) Contractor shall install their Work in accordance with the Coordinated Drawings at no additional cost to the Owner. No additional compensation will be made for extra offsets and/or piping or retrofit Work due to improper component location and coordination.

- 12) Coordination Meetings: Conduct Project coordination meetings at biweekly intervals. Project coordination meetings are in addition to specific meetings held for other purposes, such as progress meetings and pre-installation conferences. The Mechanical Work Contract #3 to submit a co-ordination drawing sequence in the first Coordination meeting for others and CM/Consultant's review and acceptance.
 - a) Attendees: In addition to representatives of Owner and Architect, each contractor, subcontractor, supplier, and other entity concerned with current progress or involved in planning, coordination, or performance of future activities shall be represented at these meetings. All participants at the conference shall be familiar with Project and authorized to conclude matters relating to the Work.
 - b) Combined Contractor's Construction Schedule: Review progress since the last coordination meeting. Determine whether each contract is on time, ahead of schedule, or behind schedule, in relation to Combined Contractor's Construction Schedule. Determine how construction behind schedule will be expedited; secure commitments from parties involved to do so. Discuss whether schedule revisions are required to ensure that current and subsequent activities will be completed within the Contract Time.
 - c) Schedule Updating: Revise Combined Contractor's Construction Schedule after each coordination meeting where revisions to the schedule have been made or recognized. Issue revised schedule concurrently with report of each meeting.

4. ADDITIONAL CONTENT FOR COORDINATION DRAWINGS

Project-specific information, drawn accurately to scale. Do not base Coordination Drawings on reproductions of the Contract Documents or standard printed data. Include the following information, as applicable:

- a) Indicate functional and spatial relationships of components of architectural, structural, civil, mechanical, and electrical systems.
- b) Indicate required installation sequences.
- c) Indicate dimensions shown on the Contract Drawings and make specific note of dimensions that appear to be in conflict with submitted equipment and minimum clearance requirements. Provide alternate sketches to Architect for resolution of such conflicts. Minor dimension changes and difficult installations will not be considered changes to the Contract.

5. SHEET SIZE: 24 by 36 inches.

6. Number of Copies: Submit (8) opaque copies of each submittal. Architect will return one copy.

- a. Submit four copies where Coordination Drawings are required for operation and maintenance manuals. Architect will retain one copy; remainder will be returned. Mark up and retain one returned copy as a Project Record Drawing.

7. Reference Section 23 05 00 1.11 and Section 26 05 00 1.14 for additional information.

- C. Key Personnel Names: Within fifteen (15) business days before starting construction operations, submit a list of key personnel assignments, including superintendent and other personnel in attendance at Project site. Identify individuals and their duties and responsibilities; list addresses and telephone numbers, including home and office telephone numbers. Provide names, addresses, and telephone numbers of individuals assigned as standbys in the absence of individuals assigned to Project.
1. Post copies of list in Project meeting room, in temporary field office, and by each temporary telephone. Keep list current at all times.

1.6 ADMINISTRATIVE AND SUPERVISORY PERSONNEL

- A. General: In addition to Project superintendent, provide other administrative and supervisory personnel as required for proper performance of the Work.
1. Include special personnel required for coordination of operations with other contractors.

1.7 CONTRACTOR'S MEETINGS

- A. General: Schedule and conduct meetings and conferences at Project site, unless otherwise indicated. If attendance by the Architect, Construction Manager, Program Manager, Technology Consultant, or Owner is necessary or desired then coordinate the time and location of the meeting with the appropriate parties.
1. Attendees: Inform participants and others involved, and individuals whose presence is required, of date and time of each meeting. Notify Construction Manager and Architect of scheduled meeting dates and times, even if attendance by same is not required.
 2. Agenda: Prepare the meeting agenda. Distribute the agenda to all invited attendees.
 3. Minutes: Record significant discussions and agreements achieved. Distribute the meeting minutes to everyone concerned, including Owner and Architect, within three (3) business days of the meeting.
- B. Preconstruction Conference: Schedule a preconstruction conference before starting construction, at a time convenient to Owner, Architect and Construction Manager, but no later than fifteen (15) business days after execution of the Agreement. Hold the conference at Project site or another convenient location. Conduct the meeting to review responsibilities and personnel assignments.
1. Attendees: Authorized representatives of Owner, Architect, Construction Manager and their consultants (Technology Consultant/Program Manager); prime Contractors and their superintendents; major subcontractors; suppliers; and other concerned parties shall attend the conference. All participants at the conference shall be familiar with Project and authorized to conclude matters relating to the Work.
 2. Agenda: Discuss items of significance that could affect progress, including the following:

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- a. Tentative construction schedule.
 - b. Phasing.
 - c. Critical work sequencing and long-lead items.
 - d. Designation of key personnel and their duties.
 - e. Procedures for processing field decisions and Change Orders.
 - f. Procedures for RFIs.
 - g. Procedures for testing and inspecting.
 - h. Procedures for processing Applications for Payment.
 - i. Distribution of the Contract Documents.
 - j. Submittal procedures.
 - k. Preparation of Record Documents.
 - l. Use of the premises and existing building.
 - m. Work restrictions.
 - n. Owner's occupancy requirements.
 - o. Responsibility for temporary facilities and controls.
 - p. Construction waste management and recycling.
 - q. Parking availability.
 - r. Office, work, and storage areas.
 - s. Equipment deliveries and priorities.
 - t. First aid.
 - u. Security.
 - v. Progress cleaning.
 - w. Working hours.
 - x. Owner's health and safety requirements.
 - y. Agree upon a schedule for regular meetings.
3. Minutes: Construction Manager will record and distribute meeting minutes.
- C. Pre-installation Conferences: Conduct a pre-installation conference at Project site before each construction activity that requires coordination with other construction.
1. Attendees: Installer and representatives of manufacturers and fabricators involved in or affected by the installation and its coordination or integration with other materials and installations that have preceded or will follow, shall attend the meeting. Advise Architect and Construction Manager of scheduled meeting dates.
 2. Agenda: Review progress of other construction activities and preparations for the particular activity under consideration, including requirements for the following:
 - a. The Contract Documents.
 - b. Options.
 - c. Related RFIs.
 - d. Related Change Orders.
 - e. Purchases.
 - f. Deliveries.
 - g. Submittals.
 - h. Review of mockups.
 - i. Possible conflicts.
 - j. Compatibility problems.

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- k. Time schedules.
 - l. Weather limitations.
 - m. Manufacturer's written recommendations.
 - n. Warranty requirements.
 - o. Compatibility of materials.
 - p. Acceptability of substrates.
 - q. Temporary facilities and controls.
 - r. Space and access limitations.
 - s. Regulations of authorities having jurisdiction.
 - t. Testing and inspecting requirements.
 - u. Installation procedures.
 - v. Coordination with other work.
 - w. Required performance results.
 - x. Protection of adjacent work.
 - y. Protection of construction and personnel.
3. Minutes: Construction Manager will record and distribute meeting minutes.
 - a. Record significant conference discussions, agreements, and disagreements, including required corrective measures and actions.
 - b. Reporting: Distribute minutes of the meeting to each party present and to parties who should have been present.
 4. Do not proceed with installation if the conference cannot be successfully concluded. Initiate whatever actions are necessary to resolve impediments to performance of the Work and reconvene the conference at earliest feasible date.
- D. Progress Meetings: The Construction Manager shall conduct progress meetings at weekly intervals. Coordinate dates of meetings with preparation of payment requests.
1. Attendees: In addition to representatives of Owner,, Construction Manager, and Architect each contractor, subcontractor, supplier, and other entity concerned with current progress or involved in planning, coordination, or performance of future activities shall be represented at these meetings. All participants at the conference shall be familiar with Project and authorized to conclude matters relating to the Work.
 2. Agenda: Review and correct or approve minutes of previous progress meeting. Review other items of significance that could affect progress. Include topics for discussion as appropriate to status of Project.
 - a. Contractor's Construction Schedule: Review progress since the last meeting. Determine whether each activity is on time, ahead of schedule, or behind schedule, in relation to Contractor's Construction Schedule. Determine how construction behind schedule will be expedited; secure commitments from parties involved to do so. Discuss whether schedule revisions are required to ensure that current and subsequent activities will be completed within the Contract Time.
 - 1) Review schedule for next period.

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- b. Review present and future needs of each entity present, including the following:
 - 1) Interface requirements.
 - 2) Sequence of operations.
 - 3) Status of submittals.
 - 4) Deliveries.
 - 5) Off-site fabrication.
 - 6) Access.
 - 7) Site utilization.
 - 8) Temporary facilities and controls.
 - 9) Work hours.
 - 10) Hazards and risks.
 - 11) Progress cleaning.
 - 12) Quality and work standards.
 - 13) Status of correction of deficient items.
 - 14) Field observations.
 - 15) RFIs.
 - 16) Status of proposal requests.
 - 17) Pending changes.
 - 18) Status of Change Orders.
 - 19) Pending claims and disputes.
 - 20) Documentation of information for payment requests.
 3. Minutes: Construction Manager will record and distribute the meeting minutes to Owner, Architect, and Contractors.
 4. Reporting: Distribute minutes of the meeting to each party present and to parties who should have been present.
 - a. Schedule Updating: Revise Contractor's Construction Schedule after each progress meeting where revisions to the schedule have been made or recognized. Issue revised schedule concurrently with the report of each meeting.
- E. Superintendent's/Foreman's/Project Manager's Meetings: The Construction Manager shall conduct progress meetings at weekly intervals.
1. Attendees: Construction Manager and each contractor, subcontractor, supplier, and other entity concerned with current progress or involved in planning, coordination, or performance of future activities shall be represented at these meetings. All participants at the conference shall be familiar with Project and authorized to conclude matters relating to the Work.
 2. Agenda: Review and correct or approve minutes of previous progress meeting. Review other items of significance that could affect progress. Include topics for discussion as appropriate to status of Project.
 3. Prior to each Superintendent's/Foreman's/ Project Manager's meeting, contractor to submit look ahead schedule to Construction Manager via formal correspondence.

1.8 REQUESTS FOR INFORMATION (RFIs)

- A. Procedure: Immediately on discovery of the need for interpretation of the Contract Documents, and if not possible to request interpretation at Project meeting, prepare and submit an RFI using the form specified.
1. RFIs shall originate with the Prime Contractor. RFIs submitted by entities other than the Prime Contractor will not be responded to.
 2. Coordinate and submit RFIs in a prompt manner so as to avoid delays in Contractor's work or work of subcontractors.
 3. RFIs will be processed via the submittal submission procedures established for this project. Owner's Representative to determine method of submittal (e.g. Submittal Exchange or Procure).
 4. Prime Contractor will fill in all applicable fields of the Request for Information form established for this Project and is available for Contractors' use from the submittal procedures established for this project. A copy of this form is included in this Project Manual in Division 00 "Request of Information"
 5. The format for naming the electronic version of the RFI shall be:
 - a. Contract Number – RFI number
 - 1) The Contract number is the same as the number on the Bid Form.
 - 2) The RFI number shall be sequential starting with #001.
 6. RFIs shall be prepared electronically using a computer program capable of reading, field filling, and saving the completed form as a PDF (Portable Document Format) computer file:
 - a. Internet Service and Equipment Requirements:
 - 1) Email address and Internet access at Contractor's main office.
 - 2) *Adobe Acrobat* (www.adobe.com), or other similar PDF review software for applying electronic stamps and form filling.
 7. Contractor shall upload the RFI to the appropriate category on the project website established for this project, or other submission procedures established.
 8. The Contractor shall be notified by the Construction Manager via e-mail once the response from the Architect has been made available.
 9. Contractor shall bear responsibility for the Architect/Engineer's time for unnecessary or frivolous RFIs.
- B. Content of the RFI: Include a detailed, legible description of item needing interpretation and the following on the project form established for this Project:
1. Project name.
 2. Date.
 3. Name of Contractor.
 4. Name of Architect.

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5. Contract Number.
 6. RFI number, numbered sequentially.
 7. Name/Location of Project Work Site (if Contract involves multiple addresses).
 8. Specification Section number and title and related paragraphs, as appropriate.
 9. Drawing number and detail references, as appropriate.
 10. Field dimensions and conditions, as appropriate.
 11. Contractor's suggested solution(s). If Contractor's solution(s) impact the Contract Time or the Contract Sum, Contractor shall state impact in the RFI.
 12. Contractor's signature.
 13. Attachments: Include drawings, descriptions, measurements, photos, Product Data, Shop Drawings, and other information necessary to fully describe items needing interpretation.
 - a. Supplementary drawings prepared by Contractor shall include dimensions, thicknesses, structural grid references, and details of affected materials, assemblies, and attachments.
- C. Hard-Copy RFIs: RFI Form is attached in Project Manual.
1. Identify each page of attachments with the RFI number and sequential page number.
- D. Software-Generated RFIs: Software-generated form with substantially the same content as indicated above.
1. Attachments shall be electronic files in Adobe Acrobat PDF format.
- E. Architect's Action: Architect will review each RFI, determine action required, and return it. Allow seven working days for Architect's response for each RFI. RFIs received after 3:00 p.m. will be considered as received the following working day.
1. The following RFIs will be returned without action:
 - a. Requests for approval of submittals.
 - b. Requests for approval of substitutions.
 - c. Requests for coordination information already indicated in the Contract Documents.
 - d. Requests for adjustments in the Contract Time or the Contract Sum.
 - e. Requests for interpretation of Architect's actions on submittals.
 - f. Incomplete RFIs or RFIs with numerous errors.
 2. Architect's action may include a request for additional information, in which case Architect's time for response will start again.
 3. Architect's action on RFIs that may result in a change to the Contract Time or the Contract Sum may be eligible for Contractor to submit Change Proposal according to Section 01 26 43 "Change Order Requests."
 - a. If Contractor believes the RFI response warrants change in the Contract Time or the Contract Sum, notify Architect in writing within five (5) business days of receipt of the RFI response.

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- F. On receipt of Architect's action, update the RFI log and immediately distribute the RFI response to affected parties. Review response and notify Architect and Construction Manager within five (5) business days if Contractor disagrees with response.
- G. RFI Log: Each Contract to prepare, maintain, and submit a tabular log of RFIs organized by the RFI number bi-weekly; log to include the following:
1. Project name.
 2. Name and address of Contractor.
 3. Name and address of Architect.
 4. RFI number including RFIs that were dropped and not submitted.
 5. RFI description.
 6. Date the RFI was submitted.
 7. Date Architect's response was received.
 8. Identification of related Minor Change in the Work, Construction Change Directive, and Proposal Request, as appropriate.
 9. Identification of related Field Order, Work Change Directive, and Proposal Request, as appropriate.

PART 2 - PRODUCTS (Not Used)

PART 3 - EXECUTION

3.1 MAINTENANCE OF ON-SITE DOCUMENTS

- A. Contractor shall maintain all Construction Documents, and changes to them, in an orderly manner at each Work Site and shall immediately make them accessible to the Owner, Architect, or Construction Manager upon request. Documents of this type include, but are not limited to:
1. Construction drawings with posted addenda.
 2. Project Manual with posted addenda.
 3. Construction Progress Drawings (As-builts).
 4. Approved submittals.
 5. Updated construction schedules.
 6. Requests for Information.
 7. Changes to the work.
 8. Architect's Supplementary Instructions
 9. Insurances and Bonds.
 10. MSDS sheets.

END OF SECTION 01 31 13

SECTION 01 32 19 - SUBMITTAL PROCEDURES

PART 1 - GENERAL

1.01 RELATED DOCUMENTS

1. Drawings and general provisions of Contract apply to work of this section.

1.02 CERTIFICATE OF CAPITAL IMPROVEMENT

1. A Certificate of Capital Improvement will be supplied to the Contractors by the School District.

1.03 PERFORMANCE AND LABOR AND MATERIALS PAYMENT BOND

1. Simultaneously with his delivery of the executed contract, the successful bidder must deliver to the Board all Performance and Labor and Materials Payment Bonds and Insurances in accordance with Section 00 73 16 "Insurance and Bonds Requirements."

1.04 ADDITIONAL SURETY

1. The Contractor shall furnish an additional surety bond in an amount at least equal to one hundred percentum (100%) of the cost of any adjustment in the contract price, by reason of an authorized change in the work, as security for faithful performance of the additional work and for the additional payment of all persons performing labor and furnishing materials in connection with this contract.

PART 2 - PRODUCTS

2.01 SUBMITTALS – (All to be submitted electronically through Submittal Exchange or Procore.

1. Permits and Certificates

1. Provide the District with a copy of all required permits such as "Right-of-Way Permits", "Plumbing Permits", "Open Flame Permits", "Highway Work Permits", "Electrical Underwriters Certificate", "Department of Health Permit and Certificates", etc. if such permits are required for the specific tasks on the project. (Typically "Building Permit" is issued to the District directly by the New York State Education Department and is not the responsibility of the Contractor to acquire).

2. Shop Drawings

1. The Prime Contractor shall submit via Submittal Exchange all submittals including product data, shop drawings and samples. Detailed requirements for shop drawings relating to certain portions of the work are stated in the drawings and various sections of these specifications. Refer to individual sections. Shop drawings furnished by sub-contractors or material vendors shall be submitted only by the Prime Contractor via Submittal Exchange or Procore. All manufactured products shall be identified by the name of the manufacturer and catalog number. Each copy of shop drawings shall be clearly marked with the title of the job and the Contractor's name. The Contractor shall indicate on the shop drawing submittal the factory delivery date and/or lead time. Refer to Section 00 72 16 - General Conditions.
2. Equipment layout shop drawings shall indicate dimensioned layout, rough-in and connection data for mechanical/electrical. Each roughing-in location shall be dimensioned accurately from the building walls.
3. Shop drawings of custom-fabricated and/or field installed material/equipment/systems, etc. shall show equipment under this contract, indicating all reinforcement, as well as details for the installation and relation to adjoining and related work which requires cutting and close fitting, anchoring, etc. Layouts shall provide the fine-tuned coordination with other systems, equipment, structure, ceiling layouts, heights, existing conditions, etc. and shall include necessary adjustments so work can be properly installed.
4. All shop drawings and product submittals shall minimally reference equipment, materials, etc. to identification system used in specifications and/or drawings, dates, project field dimensions, applicable standards, etc..
5. All shop drawings shall coordinate with existing/new adjacent conditions and make adjustments in the work within the general intent of the project.
6. By submitting shop drawings, the Contractor represents that he/she has determined and verified materials, field measurements, field conditions and has checked/coordinated that information within such submittals with the requirements of the work and the contract documents.

3. Manufacturer's Affidavit

1. The Contractor, if requested, shall furnish affidavit from manufacturer, certifying that materials or products delivered to the job meet requirements specified. However, such certifications shall not relieve Contractor from responsibility of complying with any added requirements specified herein.

4. Samples and Mock Ups

1. The Contractor shall submit a sufficient number of samples for approval and per the Architect/Engineer's request plus one for retention by the Construction Manager for each item requiring sample submission. When it is necessary to retain a sample at the construction site for comparative purposes such as a workmanship sample, the Contractor shall submit one additional sample. Refer to individual sections and Section 00 72 16 - General Conditions. When mock-ups ("constructed on site" samples) are required, the complete requirements are specified in the individual section involved.
2. A pre-installation meeting will be required to review mock up and to certify the installation will be acceptable.
3. Mock ups will be required on this project. Refer to individual Specification Section for mock up requirements.

5. Substitutions/Equivalents

1. All requests for equivalents must be submitted prior to award of contract in conformance with the "Equivalents" procedures set forth in the Instructions to Bidders (Section 00 21 13). Any request for substitutions the Contractor wishes to make after contract award shall be governed by the "Substitution" procedures in the General Conditions (Section 00 72 16).

6. Operating and Maintenance Manuals (Also refer to Closeout Submission Requirements of Section 01 77 00 and to O and M Manuals and Data of Section 01 78 23).

1. Detailed requirements for operating and maintenance manuals relating to certain portions of the work are stated in the various sections of these specifications. The Contractor shall submit ten (10) complete copies of each required manual to the Architect/Engineer on flash drive, along with two (2) hard copies, for review prior to final payment. Once approved, manual will be submitted to the Construction Manager for recordkeeping. The operating manual shall list all products and assemblies, warranties and manufacturer's instructions. It shall also include all diagnostics, schematics and software passwords necessary for service and maintenance. Detailed requirements for operating and maintenance manuals relating to certain portions of the work are stated in the various sections of these specifications. Refer to individual sections and Section 00 72 16 - General Conditions.

2. Organize operating and maintenance manual information into suitable sets of manageable size, and bind into individual binders properly identified and indexed (thumb tabbed). Include emergency instructions, spare parts listing, copies of warranties, wiring diagrams, recommended “turn-around” cycles, inspection procedures, shop drawings, product data and similar applicable information. Bind each manual of each set in a heavy-duty 3-ring binder and include pocket folders for folded sheet information. Mark identification on both front and spine of each binder, including identification of school and dates of work.
7. Warranties Manual
 1. All Contractors shall submit to the Architect/Engineer two copies of a manual of all manufacturer's and builder's warranties and bonds, as required by the contract documents. Include in this manual the project title, an index of warranties and the initial warranty date. Refer to Article 2.1.6 of this section. All warranties shall be effective, unless stated otherwise, from the date of final payment. Refer to Section 00 72 16 - General Conditions.
 8. No ACBM Statement
 1. No Asbestos Containing Building Material (ACBM) shall be used on this project. Prior to the application of final payment, the Contractor shall submit to the Construction Manager, a signed statement on the Contractor's corporate letterhead identifying the project name, date of project issue and contract number, to the effect that no work of this project involved the application, installation or provision of known or suspected asbestos containing building material (ACBM).
 9. As-Built Documents
 1. The Contractor shall maintain at the site one record copy of the drawings, specifications, addenda, approved shop drawings, product data, samples, change orders, etc. in good order and clearly marked to record field changes and selections made during construction that are not otherwise documented.
 2. As-Built Documents shall include but not be limited to;
 1. Building Construction; All wall relocations, detail changes, structural changes, etc.
 2. In-Ground Buried Work; All distribution line locations, dimensioned from prominent building lines, so as to completely locate line including jogs, direction changes, etc.
 3. Concealed Building Construction Work; All horizontal and vertical distribution lines. This includes all systems distribution even if small sizes (i.e. fire alarm conduits, small gas distribution lines, hot water re-circulation loops, etc.). Where work is concealed locate by dimension.

If exposed (includes within ceiling plenums) only generate scalable locations as necessary.

4. Locations of Equipment; All valves, unions, dampers, equipment requiring maintenance, etc. if different from original drawings, or not indicated.
 5. Existing Distribution Systems; All encountered as it relates to this contract's work.
 6. General Sizes and Materials; If not otherwise indicated on contract drawings.
 7. Where the original drawing is substantially correct the Contractor shall indicate so by clearly marked check () over each distribution and branch point, equipment location, etc. Where original drawing incorrectly locates installed work, the Contractor shall erase or 'neatly' "X" out continuously those lines.
 8. Prior to application for final payment, the Contractor shall submit ten (10) flash drives, each containing a full set of as-built documents, drawn to scale, in PDF format, indicating actual installed conditions, including change order work, to the Construction Manager for approval as record documents.
 9. The Contractor shall bear all expenses incurred to record and reproduce record documents that reflect drawing corrections and clarifications relative to found field conditions, and field changes that were induced by, or as a result of the Contractor. Change Order requests, and drawing changes prepared by the Architect/Engineer, shall be so documented on the original drawing by the Architect/Engineer.
10. Receipts and Invoices
1. Provide prompt submittal of itemized invoices and/or receipts for the purchase and installation of all devices, fixtures and equipment, at the Construction Manager's request. Provide a complete description of items indicated on submittal.
11. Energy Rebate Items
1. For all equipment proposed for installation that will result in a decreased electrical demand, i.e. high efficiency lighting, ballasts, motors, etc., the Contractor shall submit two (2) copies of sales receipts or purchase orders to the Construction Manager. Such documentation shall state date of purchase, dealer's name and address, equipment or product manufacturer, model numbers, quantity purchased and cost per item. Submittal of documentation shall be made to the Construction Manager within 30 days of purchase.

PART 3 – SUBMITTAL SCHEDULE

Submittal Schedule: Each Contractor shall input the date that each submittal to be uploaded onto Submittal Exchange. Include time required for review, ordering, manufacturing, fabrication, and delivery when establishing dates. Include additional time required for making corrections or revisions to submittals noted by Architect and additional time for handling and reviewing submittals required by those corrections.

1. Coordinate submittal schedule with list of subcontracts, the schedule of values, and Contractor's construction schedule.
2. Initial Submittal Schedule: Submit concurrently with startup construction schedule. Include submittals required during the first thirty (30) days of construction. List those submittals required to maintain orderly progress of the Work and those required early because of long lead time for manufacture or fabrication.
 - a. Unless otherwise specified in milestone requirements, all curtain wall, window, door submittals, etc. will be due within 20 days of award of contract or as needed in order to get work completed per the schedule.
3. Format: Arrange the following information in a tabular format:
 - a. Scheduled date for first submittal.
 - b. Specification Section number and title.
 - c. Submittal category: Action; informational.
 - d. Name of subcontractor.
 - e. Description of the Work covered.
 - f. Scheduled date for Architect's final release or approval.
 - g. Scheduled date of fabrication.
 - h. Scheduled dates for purchasing.
 - i. Scheduled dates for installation.
 - j. Activity or event number.
4. Unless otherwise specified in milestone requirements, the submittal schedule shall indicate that all action submittals are to be sent to the Architect within thirty (30) days after the execution of the Owner/Contractor Agreement.
 - a. If a submittal cannot be sent to the Architect within the specified time period, then the Contractor shall provide an explanation for the additional time.
5. Within thirty (30) calendar days after the execution of the Contract, the Contractors shall submit, to the Project Construction Manager, a copy of the confirmed delivery date for each required material or product.

6. See below chart for a sample submittal schedule:

ITEM/SECTION	DATA		DRAWINGS		WARRANTY
	RECEIVED	APPROVED	RECEIVED	APPROVED	PERIOD
	DATE	DATE	DATE	DATE	
Bonds and Insurance					
Project Schedule					
Submittal Schedule					
Schedule of Values					
Coordination Schedule					
Other					
Other					
Other					
Other					
Other					
Other					
Other					
Preliminary Punch List					
Test Reports					
O & M Manuals					
Other Closeouts					

PART 4 – ADMINISTRATIVE REQUIREMENTS

- B. Architect's Digital Data Files: Refer to Section 01 35 00 Electronic Document Transfer.
- A. Electronic Submittal Requirement: All action and informational submittals shall be submitted as PDF formatted.
 - 1. Use a submittal number assigned by the Architect or Construction Manager.
 - 2. All submittals will be returned to the prime contractors.
 - 3. Internet Service and Equipment Requirements:
 - a. Email address and Internet access at Contractor's main office.
 - b. *Adobe Acrobat* (www.adobe.com), or other similar PDF review software for applying electronic stamps and comments.
- B. Submittal package: Assemble each submittal and re-submittal individually and appropriately for transmittal and handling.
 - 1. Provide a completed "Submittal Cover" form with each submittal, found in Section 00 62 11, as the first page of every submittal.
 - a. Every submittal shall be accompanied by a fully executed copy of the Submittal Cover sheet and set forth the following:
 - 1) Contract number.
 - 2) Contract for: School Name/Number and SED Project Control Number.
 - 3) Contractors' name.
 - 4) Sub-contractor and suppliers name.

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- 5) Submission number and the date for each initial submittal and re-submittal.
 - 6) Shop drawings name and number.
 - 7) Contents.
 - 8) Name of manufacturer.
 - 9) Specification section paragraph number(s) showing product being submitted on.
 - 10) Signature of contractor indicating approval of the submittal with date of approval and all applicable check boxes marked.
- C. Coordination: Coordinate preparation and processing of submittals with performance of construction activities.
1. Coordinate each submittal with fabrication, purchasing, testing, delivery, other submittals, and related activities that require sequential activity.
 2. Submit all submittal items required for each Specification Section concurrently unless partial submittals for portions of the Work are indicated on approved submittal schedule.
 3. Submit action submittals and informational submittals required by the same Specification Section as separate packages under separate transmittals.
 4. Coordinate transmittal of different types of submittals for related parts of the Work so processing will not be delayed because of need to review submittals concurrently for coordination.
 - a. Architect reserves the right to withhold action on a submittal requiring coordination with other submittals until related submittals are received.
- D. Processing Time: Allow time for submittal review, including time for re-submittals, as follows. Time for review shall commence upon Architect's receipt of submittal. No extension of the Contract Time will be authorized because of failure to transmit submittals enough in advance of the Work to permit processing, including re-submittals.
1. It is the Contractor's responsibility to provide required submittals complete with enough information to show conformance with the construction documents in a time frame that will not affect the construction schedule. The construction schedule will not be extended due to the Architects' "RETURNED WITHOUT ACTION", "REJECTED" or "REVISE AND RESUBMIT" action on a submittal when the submittal is found to be lacking adequate information showing conformance with the contract documents and/or does not conform to the contract document requirements.
 2. The Architect will review a maximum of two submittals for any single item requiring a submission at no cost to the Contractor. Upon request by the Architect, the Contractor will compensate the Owner, via back charge for all further submissions to the Architect and/or Owner due to submissions that do not provided enough data to prove compliance with the specifications, or that in the opinion of the Architect do not meet the project specifications. Compensation will be computed by the additional hours needed to perform the review and correspondence multiplied by the Architect's normal billing rate.

3. Initial Review: Allow five (5) working days for initial review of each submittal. Allow additional time if coordination with subsequent submittals is required. Architect will advise Contractor when a submittal being processed must be delayed for coordination.
 4. Re-submittal Review: Allow five (5) working days for review of each re-submittal.
- E. Options: Identify options requiring selection by Architect.
- F. Deviations and Additional Information: On an attached separate sheet, prepared on Contractor's letterhead, record relevant information, requests for data, revisions other than those requested by Architect on previous submittals, and deviations from requirements in the Contract Documents, including minor variations and limitations. Include same identification information as related submittal.
- G. Re-submittals: Make re-submittals in same form and number of copies as initial submittal.
1. Note date and content of previous submittal.
 2. Note date and content of revision in label or title block and clearly indicate extent of revision.
 3. Resubmit submittals until they are marked with approval notation from Architect's action stamp that indicates "NO EXCEPTION TAKEN", or "MAKE CORRECTIONS NOTED".
- H. Distribution: Furnish copies of final submittals to manufacturers, subcontractors, suppliers, fabricators, installers, authorities having jurisdiction, and others as necessary for performance of construction activities. Show distribution on transmittal forms.
- I. Use for Construction: Retain complete printed copies of all approved action submittals on Project site. Use only final action submittals that are marked with approval notation from Architect's action stamp.
- J. Inspection of Documents: Construction progress drawings (as-builts), approved submittals, updated construction schedule.

1.2 EXECUTION SUBMITTAL PROCEDURES

- A. General Submittal Procedure Requirements: Prepare and submit submittals required by individual Specification Sections. Types of submittals are indicated in individual Specification Sections.
1. Submit electronic submittals as PDF electronic files.
 - a. After their review, the Architect will post the annotated file to the Project's website. The Contractor will then be notified via e-mail that the submittal has been reviewed, and may download the submittal file.
 - b. The Contractor is responsible for printing hard copies of electronic submittals for their own use and as requested by Construction Manager.

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2. Certificates and Certifications Submittals: Provide a statement that includes signature of entity responsible for preparing certification. Certificates and certifications shall be signed by an officer or other individual authorized to sign documents on behalf of that entity.
 - a. Provide a digital signature with digital certificate on electronically submitted certificates and certifications where indicated.
 - b. Provide a notarized statement on original paper copy certificates and certifications where indicated.

 - B. Product Data: Collect information into a single submittal for each element of construction and type of product or equipment.
 1. Clearly mark each copy of each submittal in bold marking of contrasting color to show which products and options are applicable.
 2. Include the following information, as applicable:
 - a. Manufacturer's catalog cuts.
 - b. Manufacturer's product specifications.
 - c. Color charts.
 - d. Statement of compliance with specified referenced standards.
 - e. Testing by recognized testing agency.
 - f. Application of testing agency labels and seals.
 - g. Notation of coordination requirements.
 - h. Availability and delivery time information.
 3. For equipment, include the following in addition to the above, as applicable:
 - a. Wiring diagrams showing factory-installed wiring.
 - b. Printed performance curves.
 - c. Operational range diagrams.
 - d. Clearances required to other construction, if not indicated on accompanying Shop Drawings.
 4. Submit Product Data before or concurrent with Samples.
 5. Submit Product Data in the following format:
 - a. PDF electronic file.

 - C. Shop Drawings: Prepare Project-specific information, drawn accurately to scale. Do not base Shop Drawings on reproductions of the Contract Documents or standard printed data.
 1. Preparation: Fully illustrate requirements in the Contract Documents. Include the following information, as applicable:
 - a. Identification of products.
 - b. Schedules.
 - c. Compliance with specified standards.
 - d. Notation of coordination requirements.
 - e. Notation of dimensions established by field measurement.

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- f. Relationship and attachment to adjoining construction clearly indicated.
 - g. Seal and signature of professional engineer if specified.
 2. PDF Format Sheet Size: Except for templates, patterns, and similar full-size drawings, submit Shop Drawings on sheets at least 8-1/2 by 11 inches (215 by 280 mm), but no larger than 24 by 36 inches (750 by 1067 mm).
 3. Submit Shop Drawings in the following format:
 - a. PDF electronic file.
 - D. Samples: Submit Samples for review of kind, color, pattern, and texture for a check of these characteristics with other elements and for a comparison of these characteristics between submittal and actual component as delivered and installed.
 1. Transmit Samples that contain multiple, related components such as accessories together in one submittal package.
 - a. Transmit samples via hand delivery, courier, or mail service to the Architect's Office.
 - b. Forward a copy of the transmittal to the Construction Manager.
 2. Identification: Attach label on unexposed side of Samples that includes the following:
 - a. Project name and site name, if Project involves multiple site locations.
 - b. Submittal number assigned per submittal schedule.
 - c. Generic description of Sample.
 - d. Product name and name of manufacturer.
 - e. Sample source.
 - f. Number and title of applicable Specification Section.
 - g. Specification paragraph number and generic name of each item.
 3. For projects where electronic submittals are required, also provide corresponding electronic submittal of the completed Submittal Cover, a digital image file illustrating the Sample's characteristics, and identification information for record.
 - a. Transmit printed copies of the above along with the physical Sample in the same quantity as required for the Samples.
 4. Disposition: Sample sets may be used to determine final acceptance of construction associated with each set.
 - a. Samples that may be incorporated into the Work are indicated in individual Specification Sections. Such Samples must be in an undamaged condition at time of use.
 - b. Samples not incorporated into the Work, or otherwise designated as Owner's property, are the property of Contractor.
 5. Samples for Initial Selection: Submit manufacturer's color charts consisting of units or sections of units showing the full range of colors, textures, and patterns available.
 - a. Number of Samples: Submit three (3) full set(s) of available choices where color, pattern, texture, or similar characteristics are required to be selected

from manufacturer's product line. Architect, through Construction Manager, will return one (1) submittal with options selected.

6. Samples for Verification: Submit full-size units or Samples of size indicated, prepared from same material to be used for the Work, cured and finished in manner specified, and physically identical with material or product proposed for use, and that show full range of color and texture variations expected. Samples include, but are not limited to, the following: partial sections of manufactured or fabricated components; small cuts or containers of materials; complete units of repetitively used materials; swatches showing color, texture, and pattern; color range sets; and components used for independent testing and inspection.
 - a. Number of Samples: Submit minimum Four (4) sets of Samples. Architect and Construction Manager will retain Three (3) Sample sets; remainder will be returned.
 - 1) Submit a single Sample where assembly details, workmanship, fabrication techniques, connections, operation, and other similar characteristics are to be demonstrated.
 - 2) If variation in color, pattern, texture, or other characteristic is inherent in material or product represented by a Sample, submit at least three (3) sets of paired units that show approximate limits of variations.
- E. Product Schedule: As required in individual Specification Sections, prepare a written summary indicating types of products required for the Work and their intended location. Include the following information in tabular form:
 1. Type of product. Include unique identifier for each product indicated in the Contract Documents or assigned by Contractor if none is indicated.
 2. Manufacturer and product name, and model number if applicable.
 3. Number and name of room or space.
 4. Location within room or space.
 5. Submit product schedule in the following format:
 - a. PDF electronic file.
- F. Contractor's Construction Schedule: Comply with requirements specified in Division 01 Section "Construction Progress Reports."
- G. Application for Payment and Schedule of Values: Comply with requirements specified in the General Conditions of the Contract.
- H. Test and Inspection Reports and Schedule of Tests and Inspections Submittals: Comply with requirements specified in Division 01 Section "Quality Control."
- I. Closeout Submittals and Maintenance Material Submittals: Comply with requirements specified in Division 01 Section "Closeout Procedures."
- J. Maintenance Data: Comply with requirements specified in Division 01 Section "Operation and Maintenance Data."

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- K. Qualification Data: Prepare written information that demonstrates capabilities and experience of firm or person. Include lists of completed projects with project names and addresses, contact information of architects and owners, and other information specified.
 - L. Welding Certificates: Prepare written certification that welding procedures and personnel comply with requirements in the Contract Documents. Submit record of Welding Procedure Specification and Procedure Qualification Record on AWS forms. Include names of firms and personnel certified.
 - M. Installer Certificates: Submit written statements on manufacturer's letterhead certifying that Installer complies with requirements in the Contract Documents and, where required, is authorized by manufacturer for this specific Project.
 - N. Manufacturer Certificates: Submit written statements on manufacturer's letterhead certifying that manufacturer complies with requirements in the Contract Documents. Include evidence of manufacturing experience where required.
 - O. Product Certificates: Submit written statements on manufacturer's letterhead certifying that product complies with requirements in the Contract Documents.
 - P. Material Certificates: Submit written statements on manufacturer's letterhead certifying that material complies with requirements in the Contract Documents.
 - Q. Material Test Reports: Submit reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting test results of material for compliance with requirements in the Contract Documents.
 - R. Product Test Reports: Submit written reports indicating that current product produced by manufacturer complies with requirements in the Contract Documents. Base reports on evaluation of tests performed by manufacturer and witnessed by a qualified testing agency, or on comprehensive tests performed by a qualified testing agency.
 - S. Research Reports: Submit written evidence, from a model code organization acceptable to authorities having jurisdiction, that product complies with building code in effect for Project. Include the following information:
 - 1. Name of evaluation organization.
 - 2. Date of evaluation.
 - 3. Time period when report is in effect.
 - 4. Product and manufacturers' names.
 - 5. Description of product.
 - 6. Test procedures and results.
 - 7. Limitations of use.
 - T. Preconstruction Test Reports: Submit reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting results of tests performed before installation of product, for compliance with performance requirements in the Contract Documents.

- U. Compatibility Test Reports: Submit reports written by a qualified testing agency, on testing agency's standard form, indicating and interpreting results of compatibility tests performed before installation of product. Include written recommendations for primers and substrate preparation needed for adhesion.
- V. Field Test Reports: Submit written reports indicating and interpreting results of field tests performed either during installation of product or after product is installed in its final location, for compliance with requirements in the Contract Documents.
- W. Design Data: Prepare and submit written and graphic information, including, but not limited to, performance and design criteria, list of applicable codes and regulations, and calculations. Include list of assumptions and other performance and design criteria and a summary of loads. Include load diagrams if applicable. Provide name and version of software, if any, used for calculations. Include page numbers.
- X. Construction Photographs: Provide photos of progress on a weekly or monthly basis for each phase and area of work. Any areas of conflict will be documented with photos as well as air tests and other monitored activities. All underground and "to be concealed" areas will be documented with photos as required to properly document as build conditions.
- Y. Material Safety Data Sheets (MSDS): Contractor shall provide and maintain a hard copy of all MSDS sheets at each Project Site as per OSHA requirements. Do not submit MSDS sheets to the Architect or Construction Manager.

1.3 DELEGATED-DESIGN SERVICES

- A. Performance and Design Criteria: Where professional design services or certifications by a design professional are specifically required of Contractor by the Contract Documents, provide products and systems complying with specific performance and design criteria indicated.
 - 1. If criteria indicated are not sufficient to perform services or certification required, submit a written request for additional information to Architect.
- B. Delegated-Design Services Certification: In addition to Shop Drawings, Product Data, and other required submittals, submit digitally signed PDF electronic file and three (3) paper copies of certificate, signed and sealed by the responsible design professional, for each product and system specifically assigned to Contractor to be designed or certified by a design professional.
 - 1. Indicate that products and systems comply with performance and design criteria in the Contract Documents. Include list of codes, loads, and other factors used in performing these services.

1.4 CONTRACTOR'S REVIEW

- A. Action and Informational Submittals: Review each submittal and check for coordination with other Work of the Contract and for compliance with the Contract Documents. Note corrections and field dimensions. Mark with approval stamp before submitting to Architect.

- B. Approval Stamp: Stamp each submittal with a uniform, approval stamp. Include Project name and location, submittal number, Specification Section title and number, name of reviewer, date of Contractor's approval, and statement certifying that submittal has been reviewed, checked, and approved for compliance with the Contract Documents.

1.5 ARCHITECT'S ACTION

- A. Action Submittals: Architect will review each submittal, make marks to indicate corrections or revisions required, and return it. Architect will stamp each submittal with an action stamp and will mark stamp appropriately to indicate action, as follows:
1. No Exception Taken – Submittal is approved and released for fabrication and can be incorporated into the work.
 2. Make Corrections Noted - Submittal is approved and released for fabrication and can be incorporated into the work with the modifications as noted.
 3. Revise & Resubmit – Submittal is not approved and resubmission is required per the Architect's comments. Such products cannot be purchased nor incorporated into the work.
 4. Rejected – Submittal is not approved and submission does not meet requirements of the Project. Resubmit products that conform to the Contract Documents.
- B. Informational Submittals: Architect will review each submittal and will not return it, or will return it if it does not comply with requirements. Architect will forward each submittal to appropriate party.
- C. Partial submittals prepared for a portion of the Work will be reviewed when use of partial submittals has received prior approval from Architect.
- D. Submittals not required by the Contract Documents may be returned by the Architect without action.
- E. Submittals that do not follow the protocol that is outlined in the applicable Specification Section, or this Section, of the Project Manual may be returned to the Contractor without action by the Architect.
- F. Submittal packages received from sources other than the Contractor, or other than from the Contractor via the Construction Manager, will be discarded by the Architect.

END OF SECTION 01 32 19

SECTION 01 74 19 - CONSTRUCTION WASTE MANAGEMENT AND DISPOSAL

PART 1 - GENERAL

1.1 SUMMARY

- A. This Section includes administrative and procedural requirements for the following:
1. Salvaging nonhazardous demolition and construction waste.
 2. Disposing of nonhazardous demolition and construction waste.

1.2 DEFINITIONS

- A. Construction Waste: Building and site improvement materials and other solid waste resulting from construction, remodeling, renovation, or repair operations. Construction waste includes packaging.
- B. Demolition Waste: Building and site improvement materials resulting from demolition or selective demolition operations.
- C. Disposal: Removal off-site of demolition and construction waste and subsequent sale, recycling, reuse, or deposit in landfill or incinerator acceptable to authorities having jurisdiction.
- D. Salvage: Recovery of demolition or construction waste and subsequent sale or reuse in another facility as identified in section 02 41 00 selective demolition.
- E. Salvage and Reuse: Recovery of demolition or construction waste and subsequent incorporation into the Work as identified in section 02 41 00 selective demolition.

1.3 ACTION SUBMITTALS

- A. Waste Management Plan: All contractors shall submit plan within 7 days of date established for the Notice of Award.

1.4 QUALITY ASSURANCE

- A. Refrigerant Recovery Technician Qualifications: Certified by EPA-approved certification program.
- B. Regulatory Requirements: Comply with hauling and disposal regulations of authorities having jurisdiction.
- C. Waste Management Conference: Conduct conference at Project site to comply with requirements in Division 01 Section "Project Management and Coordination." Review methods and procedures related to waste management including, but not limited to, the following:
1. Review and discuss waste management plan.

2. Review procedures for periodic waste collection and transportation to recycling and disposal facilities.
3. Review waste management requirements for each trade.

1.5 WASTE MANAGEMENT PLAN

- A. General: Develop a waste management plan according to ASTM E 1609 and requirements in this Section. Plan shall consist of waste identification and waste reduction work plan.
- B. Waste Reduction Work Plan: List each type of waste and whether it will be salvaged, recycled, or disposed of in landfill or incinerator.
 1. Salvaged Materials for Reuse: For materials that will be salvaged and reused in this Project, describe methods for preparing salvaged materials before incorporation into the Work.
 2. Recycled Materials: Include list of local receivers and processors and type of recycled materials each will accept. Include names, addresses, and telephone numbers.
 3. Disposed Materials: Indicate how and where materials will be disposed of. Include name, address, and telephone number of each landfill and incinerator facility.
 4. Handling and Transportation Procedures: Include method that will be used for separating recyclable waste including sizes of containers, container labeling, and designated location on Project site where materials separation will be located.

PART 2 - PRODUCTS - (Not Used)

PART 3 - EXECUTION

3.1 PLAN IMPLEMENTATION

- A. General: Implement waste management plan. Provide handling, containers, storage, signage, transportation, and other items as required to implement waste management plan during the entire duration of the Contract.
- B. Waste Management Coordinator: General Trades Work Contractor#1 shall engage a waste management coordinator to be responsible for implementing, monitoring, and reporting status of waste management work plan. Coordinator shall be present at Project site full time for duration of Project.
- C. Training: Train workers, subcontractors, and suppliers on proper waste management procedures, as appropriate for the Work occurring at Project site.
 1. Distribute waste management plan to everyone concerned within three days of submittal return.
 2. Distribute waste management plan to entities when they first begin work on-site. Review plan procedures and locations established for salvage, recycling, and disposal.

- D. Site Access and Temporary Controls: Conduct waste management operations to ensure minimum interference with roads, streets, walks, walkways, and other adjacent occupied and used facilities.
1. Designate and label specific areas on Project site necessary for separating materials that are to be salvaged, recycled, reused, donated, and sold.
 2. Comply with Division 01 requirements for controlling dust and dirt, environmental protection, and noise control.

3.2 SALVAGING DEMOLITION WASTE

- A. Salvaged Items for Reuse in the Work: Salvage items for reuse and handle as follows:

1. Clean salvaged items.
2. Pack or crate items after cleaning. Identify contents of containers with label indicating elements, date of removal, quantity, and location where removed.
3. Store items in a secure area until installation.
4. Protect items from damage during transport and storage.
5. Install salvaged items to comply with installation requirements for new materials and equipment. Provide connections, supports, and miscellaneous materials necessary to make items functional for use indicated.

- B. Salvaged Items for Sale and Donation: Not permitted on Project site.

- C. Salvaged Items for Owner's Use:

1. Clean salvaged items.
2. Pack or crate items after cleaning. Identify contents of containers with label indicating elements, date of removal, quantity, and location where removed.
3. Store items in a secure area until delivery to Owner.
4. Transport items to Owner's storage area or ware house or auction facility designated by Owner.
5. Protect items from damage during transport and storage.
6. List of Salvaged items for Owner's use.
 - a. All interior classroom door hardware to be turned over to Owner.
 - b. Kitchen Equipment: Separate by type and size as selected by Owner.
 - c. Kitchen Equipment: Three (3) bay sink (transport to warehouse).
 - d. Kitchen Equipment: 2x hand sinks (transport to warehouse).
 - e. Kitchen Equipment: 2x milk cooler (transport to Hudson Ave for auction).
 - f. Kitchen Equipment: Serving line (transport to Hudson Ave for auction).
 - g. Kitchen Equipment: 3 warmers (transport to Hudson Ave for auction).
 - h. Kitchen Equipment: Refrigerator (transport to warehouse).
 - i. Electrical Devices: Separate switches, receptacles, switchgear, transformers, meters, panel boards, circuit breakers, and other devices by type.
 - j. District Wide Technology Equipment (This includes, but is not limited to): Interactive whiteboard (IWBs), Projectors, Wireless Application Protocol (WAPs) equipment, Power over Ethernet equipment (PoEs), Servers (NVR for CCTV (need to maintain for construction), Core, Network etc.), Data closet equipment such as UPS's/racks, Internet Protocol CCTV cameras (need to maintain for construction), Analog CCTV cameras, Intrusion detection (need to maintain for construction), Access control (need to maintain for construction) and fire alarm control panel (FACP) (need to maintain for construction).

- k. Miscellaneous Items: Marble bust of G. Washington (to be reused).
 - l. Miscellaneous Items: Marble bust of A. Lincoln (to be reused).
 - m. Miscellaneous Items: Original hardwood bench in nurse suite (to be reused).
 - n. Miscellaneous Items: Two (2) vending machines (to be reused).
 - o. Miscellaneous Items: Swinging blackboard panels.
- D. Doors and Hardware: Brace open end of door frames. Except for removing door closers, leave door hardware attached to doors.
 - E. Equipment: Drain tanks, piping, and fixtures. Seal openings with caps or plugs. Protect equipment from exposure to weather.
 - F. Plumbing Fixtures: Separate by type and size.
 - G. Lighting Fixtures: Separate lamps by type and protect from breakage.
 - H. Electrical Devices: Separate switches, receptacles, switchgear, transformers, meters, panel boards, circuit breakers, and other devices by type.

3.3 RECYCLING DEMOLITION AND CONSTRUCTION WASTE, GENERAL

- A. General: Recycle paper and beverage containers used by on-site workers.
- B. Recycling Incentives: Revenues, savings, rebates, tax credits, and other incentives received for recycling waste materials shall accrue to Owner.
- C. Preparation of Waste: Prepare and maintain recyclable waste materials according to recycling or reuse facility requirements. Maintain materials free of dirt, adhesives, solvents, petroleum contamination, and other substances deleterious to the recycling process.
- D. Procedures: Separate recyclable waste from other waste materials, trash, and debris. Separate recyclable waste by type at Project site to the maximum extent practical.
 - 1. Provide appropriately marked containers or bins for controlling recyclable waste until they are removed from Project site. Include list of acceptable and unacceptable materials at each container and bin.
 - a. Inspect containers and bins for contamination and remove contaminated materials if found.
 - 2. Stockpile processed materials on-site without intermixing with other materials. Place, grade, and shape stockpiles to drain surface water. Cover to prevent windblown dust.
 - 3. Stockpile materials away from construction area. Do not store within drip line of remaining trees.
 - 4. Store components off the ground and protect from the weather.
 - 5. Remove recyclable waste off Owner's property and transport to recycling receiver or processor.

3.4 RECYCLING DEMOLITION WASTE

- A. Asphaltic Concrete Paving: Break up and transport paving to asphalt-recycling facility.

- B. Concrete: Remove reinforcement and other metals from concrete and sort with other metals.
- C. Masonry: Remove metal reinforcement, anchors, and ties from masonry and sort with other metals.
- D. Wood Materials: Sort and stack members according to size, type, and length. Separate lumber, engineered wood products, panel products, and treated wood materials.
- E. Metals: Separate metals by type.
 - 1. Structural Steel: Stack members according to size, type of member, and length.
 - 2. Remove and dispose of bolts, nuts, washers, and other rough hardware.
- F. Asphalt Shingle Roofing: Separate organic and glass-fiber asphalt shingles and felts. Remove and dispose of nails, staples, and accessories.
- G. Gypsum Board: Stack large clean pieces on wood pallets and store in a dry location. Remove edge trim and sort with other metals. Remove and dispose of fasteners.
- H. Acoustical Ceiling Panels and Tile: Stack large clean pieces on wood pallets and store in a dry location.
- I. Metal Suspension System: Separate metal members including trim, and other metals from acoustical panels and tile and sort with other metals.
- J. Carpet: Roll large pieces tightly after removing debris, trash, adhesive, and tack strips.
 - 1. Store clean, dry carpet in a closed container or trailer provided by Carpet Reclamation Agency or carpet recycler.
- K. Carpet Tile: Remove debris, trash, and adhesive.
 - 1. Stack tile on pallet and store clean, dry carpet in a closed container or trailer provided by Carpet Reclamation Agency or carpet recycler.
- L. Piping: Reduce piping to straight lengths and store by type and size. Separate supports, hangers, valves, sprinklers, and other components by type and size.
- M. Conduit: Reduce conduit to straight lengths and store by type and size.

3.5 RECYCLING CONSTRUCTION WASTE

- A. Packaging:
 - 1. Cardboard and Boxes: Break down packaging into flat sheets. Bundle and store in a dry location.
 - 2. Polystyrene Packaging: Separate and bag materials.
 - 3. Pallets: As much as possible, require deliveries using pallets to remove pallets from Project site. For pallets that remain on-site, break down pallets into component wood pieces and comply with requirements for recycling wood.
 - 4. Crates: Break down crates into component wood pieces and comply with requirements for recycling wood.

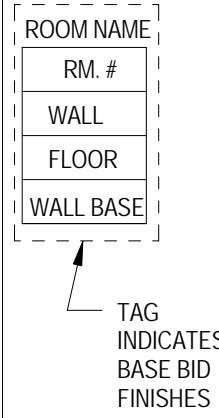
-
- B. Wood Materials:
 - 1. Clean Cut-Offs of Lumber: Grind or chip into small pieces.
 - 2. Clean Sawdust: Bag sawdust that does not contain painted or treated wood.
 - C. Gypsum Board: Stack large clean pieces on wood pallets and store in a dry location.
 - 1. Clean Gypsum Board: Grind scraps of clean gypsum board using small mobile chipper or hammer mill. Screen out paper after grinding.

3.6 DISPOSAL OF WASTE

- A. General: Except for items or materials to be salvaged, recycled, or otherwise reused, remove waste materials from Project site and legally dispose of them in a landfill or incinerator acceptable to authorities having jurisdiction.
 - 1. Except as otherwise specified, do not allow waste materials that are to be disposed of accumulate on-site.
 - 2. Remove and transport debris in a manner that will prevent spillage on adjacent surfaces and areas.
- B. Burning: Do not burn waste materials.
- C. Disposal: Transport waste materials off Owner's property and legally dispose of them.

END OF SECTION 01 74 19

LEGEND



2 TILE	2"X2" CERAMIC KEYSTONES FLOOR TILE
6 TILE	6"X6" CERAMIC WALL TILE
BL	4 1/4" X 12 3/4" (MODERN DIMENTIONS) WALL TILE CWT-14
CPT	CARPET
CL	CLEAN EXISTING
D.P	DIAMOND PLATE WAINSCOT 6'-0" AFF PT WALLS
EB	EPOXY TERRAZZO BASE
ET	EPOXY TERRAZZO FLOORING
EX	EXISTING TO REMAIN (PATCH AS NECESSARY)
FRP	FRP WALL PANELS
PT	PAINT
Q. TILE	QUARRY TILE
REF.	REFINISH WOOD TRIM AND/ OR CABINET BUILT INS
RUB	RUBBER BASE
S. CON	SEALED CONCRETE
SHEAT	WOOD SHEATHING
SHEET	SHEET VINYL

FINISH NOTES

- *1 EXISTING WALL TILE TO REMAIN (PATCH AS NECESSARY)
- *2 TILE (6X6) ON EXTERIOR WALLS, FULL HEIGHT FRP OF GWB NEW WALLS
- *3 2"X2" TILE B|W|G|G2 MURAL- REFER TO FINISH ELEVATION
- *4 QUARTY TILE TO STAIR TREADS- STAIR TREAD, RISERS AND STRINGERS TO BE PAINTED.

FINISH FLOOR MATERIALS LEGEND

	VCT - 1 BOD: ARMSTRONG FLOORING PREMIUM EXCELON RAFFIA 12" x 24" COLOR: 55800 SNOWDRIFT		VCT - 9 BOD: ARMSTRONG FLOORING PREMIUM EXCELON RAFFIA 12" x 24" COLOR: 55808 WARM WHEAT
	VCT - 2 BOD: ARMSTRONG FLOORING STANDARD EXCELON IMPERIAL TEXTURE 12" x 12" COLOR: 51946 GENTIAN BLUE		VCT - 10 BOD: ARMSTRONG FLOORING PREMIUM EXCELON RAFFIA 12" x 24" COLOR: 55805 COCOA
	VCT - 3 BOD: STANDARD EXCELON IMPERIAL TEXTURE 12" x 12" COLOR: 57510 KICKIN' KIWII		Q. TILE - 1 BOD: DALTILE SURETREAD AND PAVERS 6" X 6" COLOR: 0083 STORM GRAY PAVER
	VCT - 4 BOD: ARMSTRONG FLOORING STANDARD EXCELON IMPERIAL TEXTURE 12" x 12" COLOR: 51812 LEMON YELLOW		CPT BOD: MANNINGTON COMMERCIAL EVERYWEAR III 12" COLOR: 3306 TECHNO
BASE BID: ALL CORRIDORS (EXCEPT CORRIDOR B)			
	VCT - 5 (15% IN CORRIDOR & NURSE SUITE) BOD: ARMSTRONG FLOORING STANDARD EXCELON IMPERIAL TEXTURE 12" x 12" COLOR: 51805 CAMEL BEIGE		
	VCT - 6 (7% IN CORRIDOR & NURSE SUITE) BOD: ARMSTRONG FLOORING STANDARD EXCELON IMPERIAL TEXTURE 12" x 12" COLOR: 51906 TEAL		
	VCT - 7 (7% IN CORRIDOR & NURSE SUITE) BOD: ARMSTRONG FLOORING STANDARD EXCELON IMPERIAL TEXTURE 12" x 12" COLOR: 57504 CHOCOLATE		
	VCT - 8 (70% IN CORRIDOR & NURSE SUITE) BOD: ARMSTRONG FLOORING STANDARD EXCELON IMPERIAL TEXTURE 12" x 12" COLOR: 51811 ANTIQUE WHITE		

ALTERNATE #5A: 1ST FLOOR CORRIDOR FLOORING UPGRADE- FURNISH AND INSTALL EPOXY TERRAZZO FLOORING, INCLUDING BUT NOT LIMITED TO MOISTURE MITIGATION PRODUCT INSTALLATION TO ALLOW EARLY TERRAZZO FLOORING INSTALLATION, EXISTING SUBFLOORING PREPARATION, DOOR AND THRESHOLD ADJUSTMENTS, MATERIAL CONTROL JOINTS, UPGRADE OF BUILDING EXPANSION JOINTS AND ALL ASSOCIATED WORK.

ALTERNATE #5A: 2ND FLOOR CORRIDOR FLOORING UPGRADE- CONTINGENT ON THE ACCEPTANCE OF ALTERNATE 5A- FURNISH AND INSTALL EPOXY TERRAZZO FLOORING, INCLUDING BUT NOT LIMITED TO MOISTURE MITIGATION PRODUCT INSTALLATION TO ALLOW EARLY TERRAZZO FLOORING INSTALLATION, EXISTING SUBFLOORING PREPARATION, DOOR AND THRESHOLD ADJUSTMENTS, MATERIAL CONTROL JOINTS, UPGRADE OF BUILDING EXPANSION JOINTS AND ALL ASSOCIATED WORK.

RED OUTLINE REPRESENTS EXTENT AND INTENT OF ALTERNATES 5A

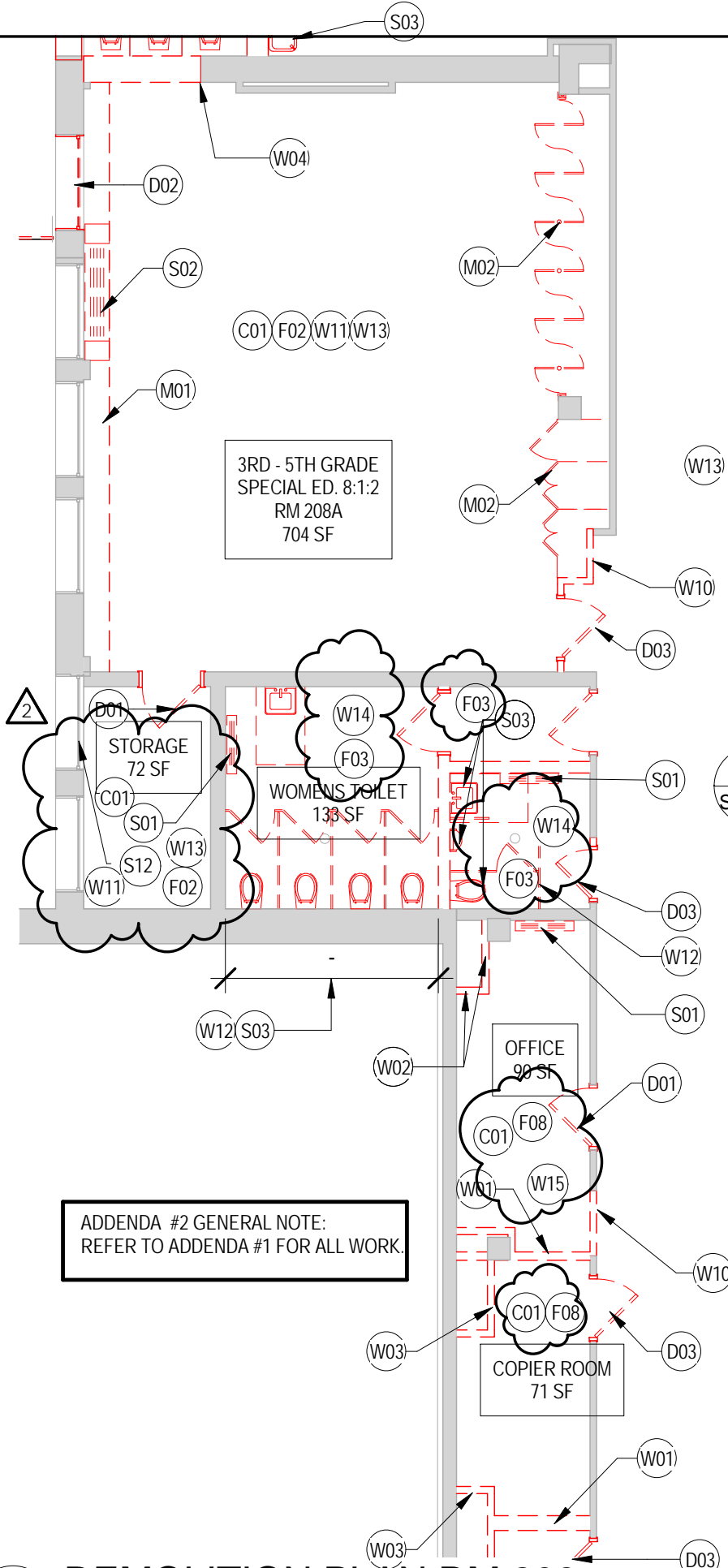
ET - 1
EPOXY TERRAZZO FLOORING
SYSTEM COLOR: TBD

ET - 2
EPOXY TERRAZZO FLOORING
SYSTEM COLOR: TBD

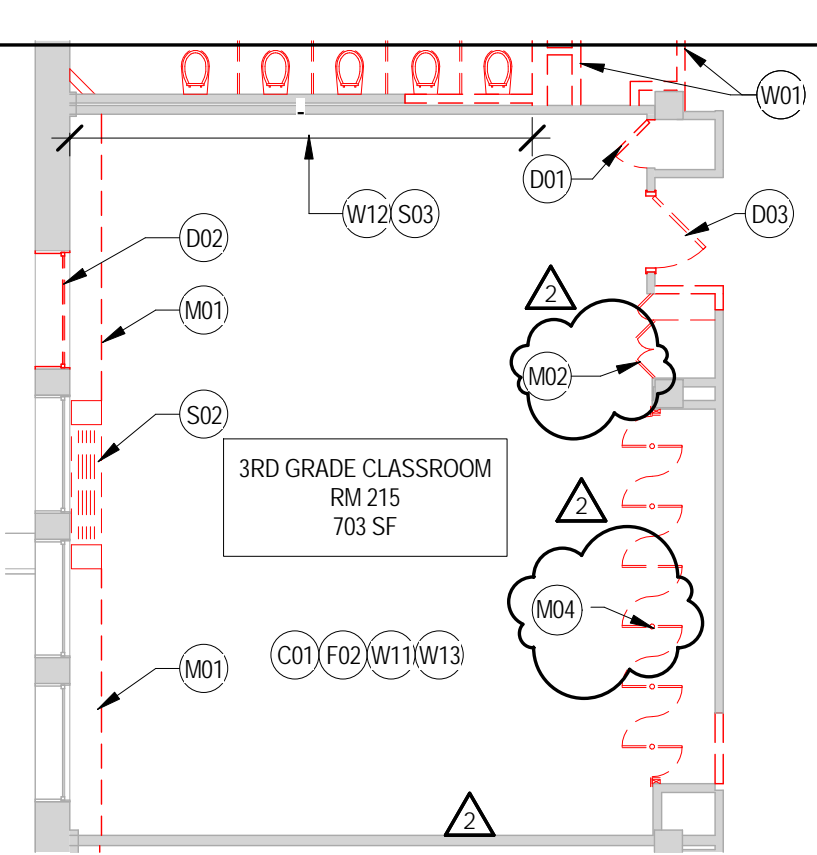
PURPLE OUTLINE REPRESENTS EXTENT AND INTENT OF ALTERNATES 5B

ET - 1
EPOXY TERRAZZO FLOORING
SYSTEM COLOR: TBD

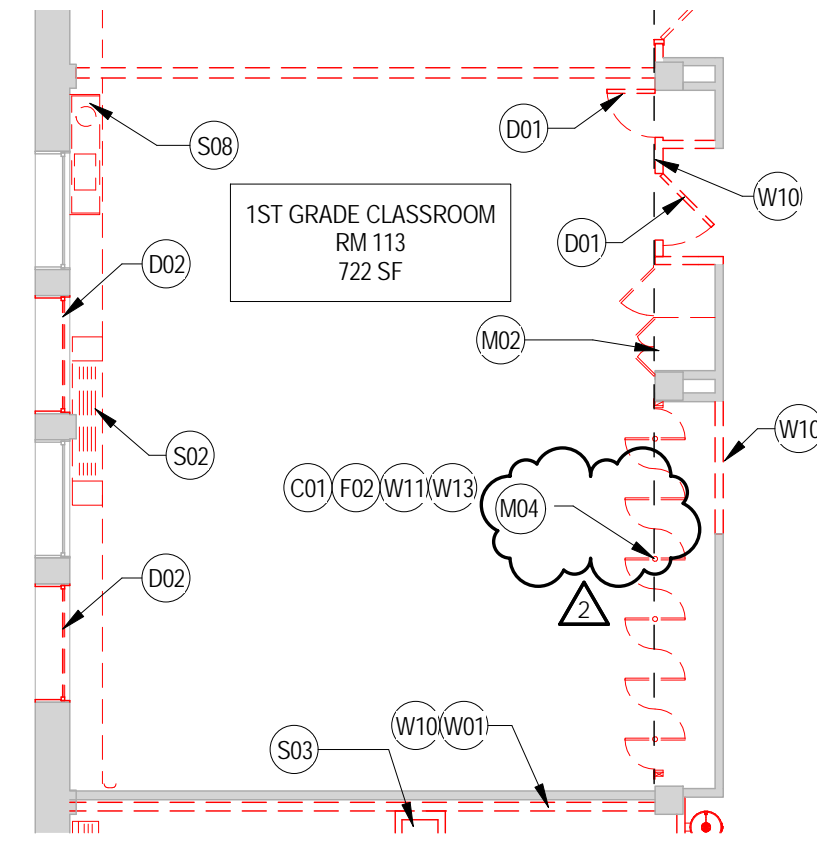
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EPOXY TERRAZZO FLOORING
SYSTEM COLOR: TBD



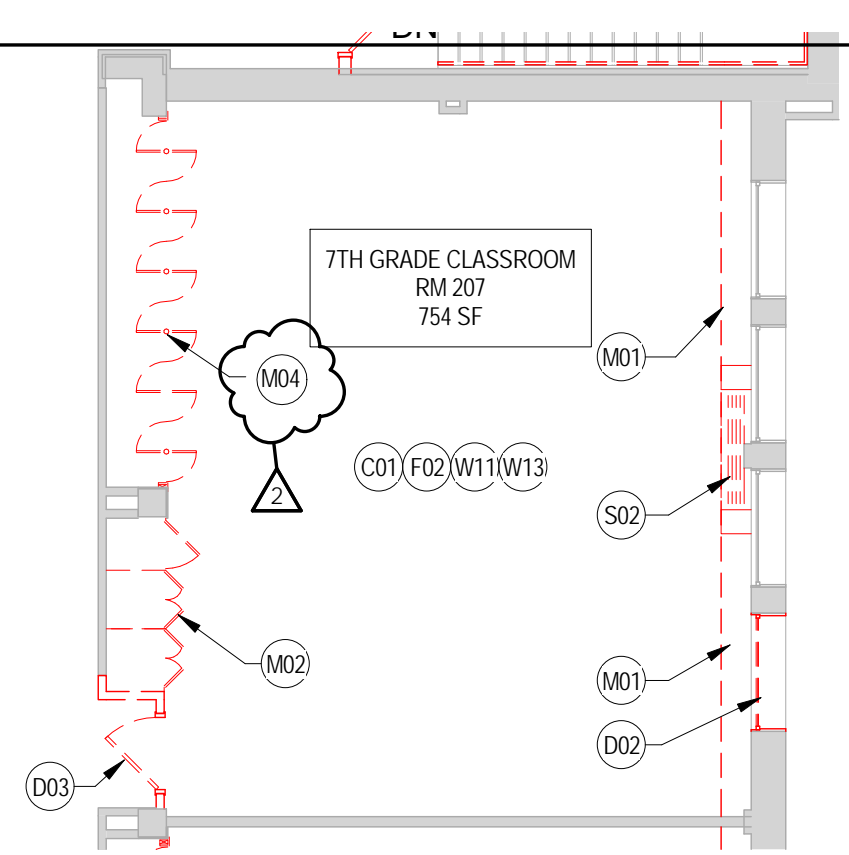
5 DEMOLITION PLAN RM 208
SKA-08 1/8" = 1'-0"



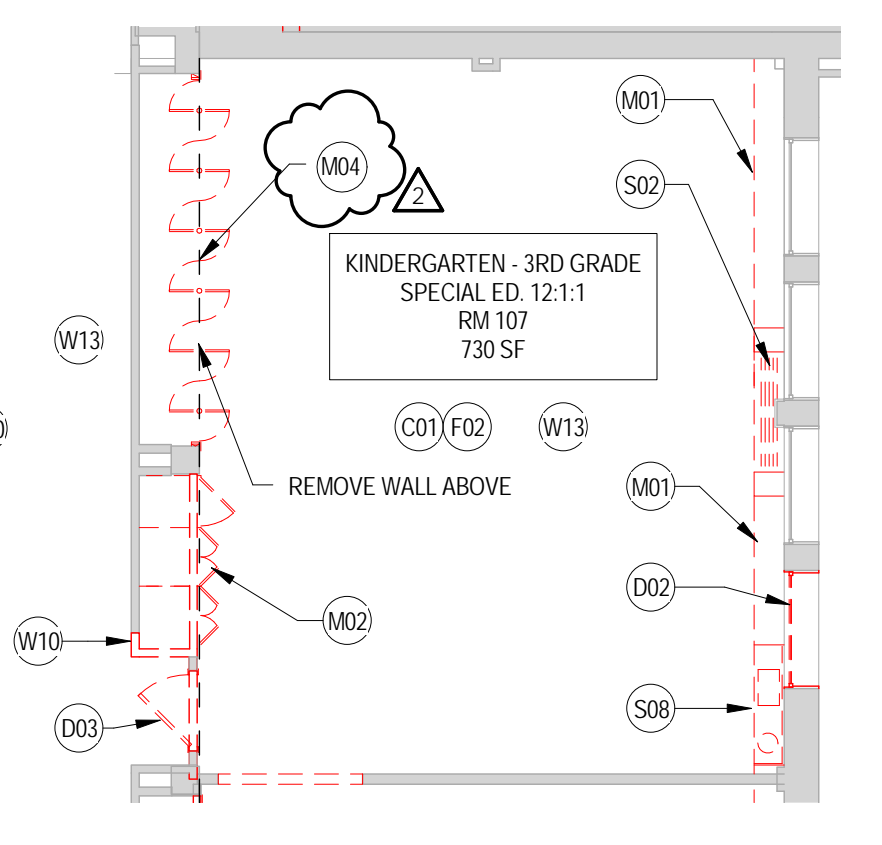
3 DEMOLITION PLAN RM 215
SKA-08 1/8" = 1'-0"



4 DEMOLITION PLAN RM 113
SKA-08 1/8" = 1'-0"



1 DEMOLITION PLAN RM 207
SKA-08 1/8" = 1'-0"



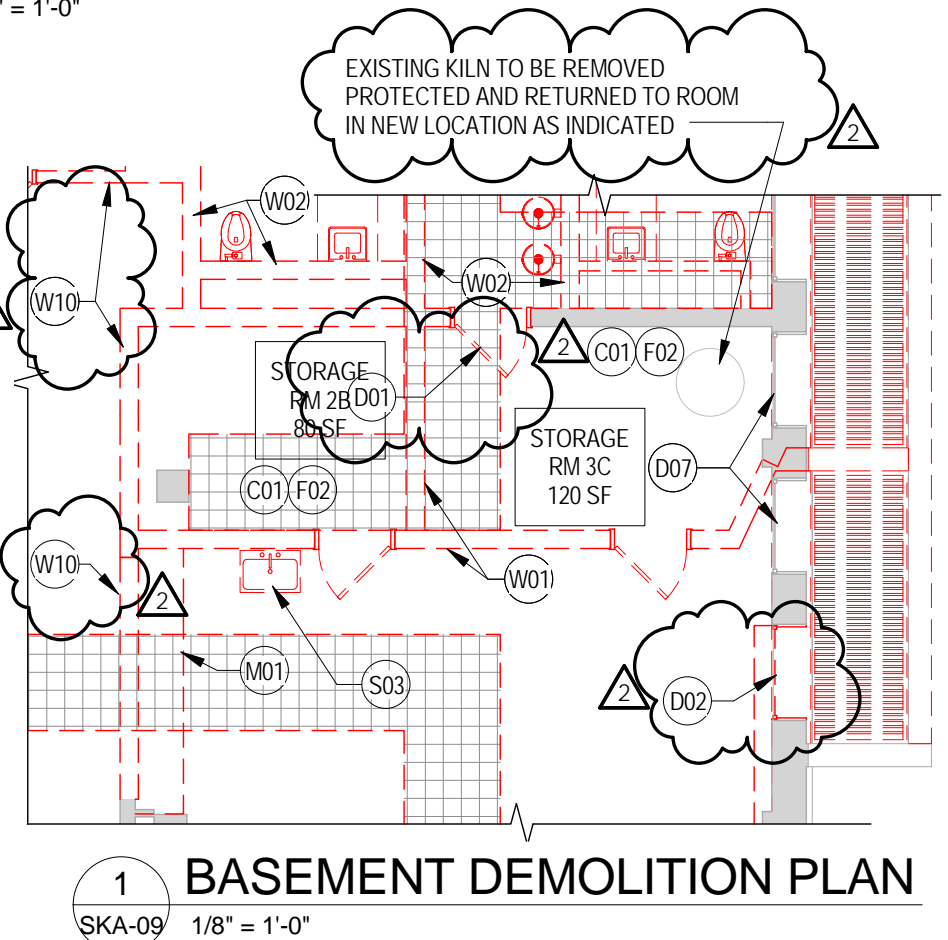
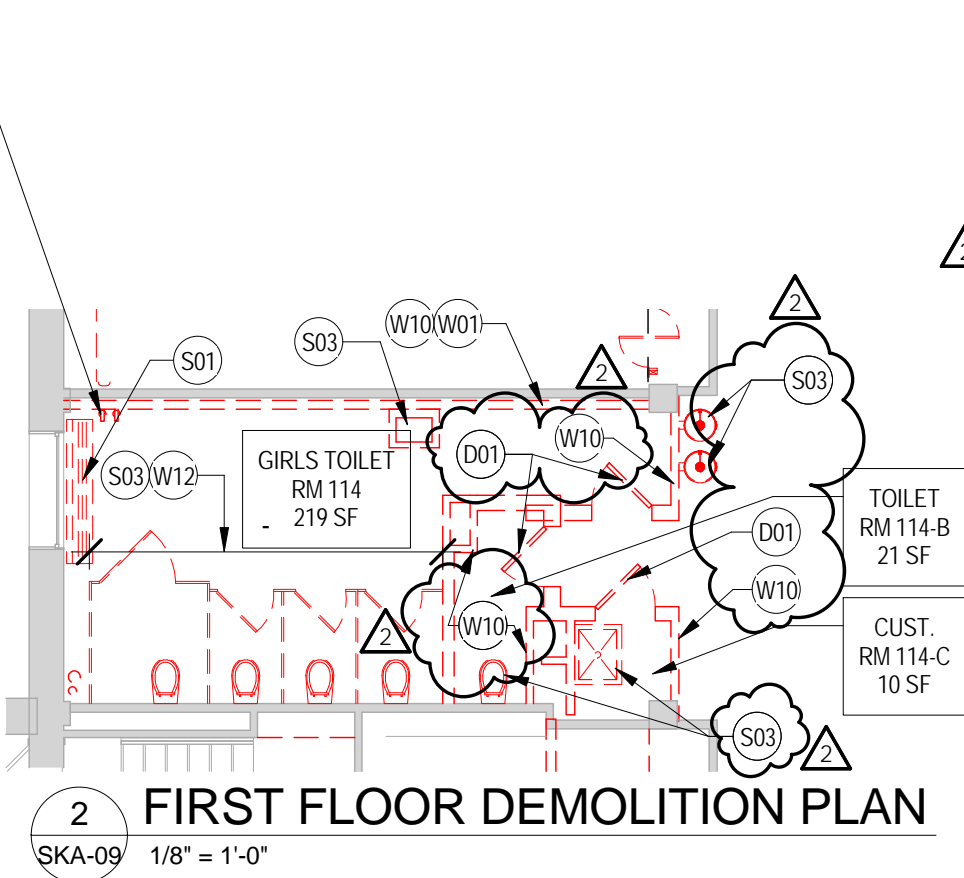
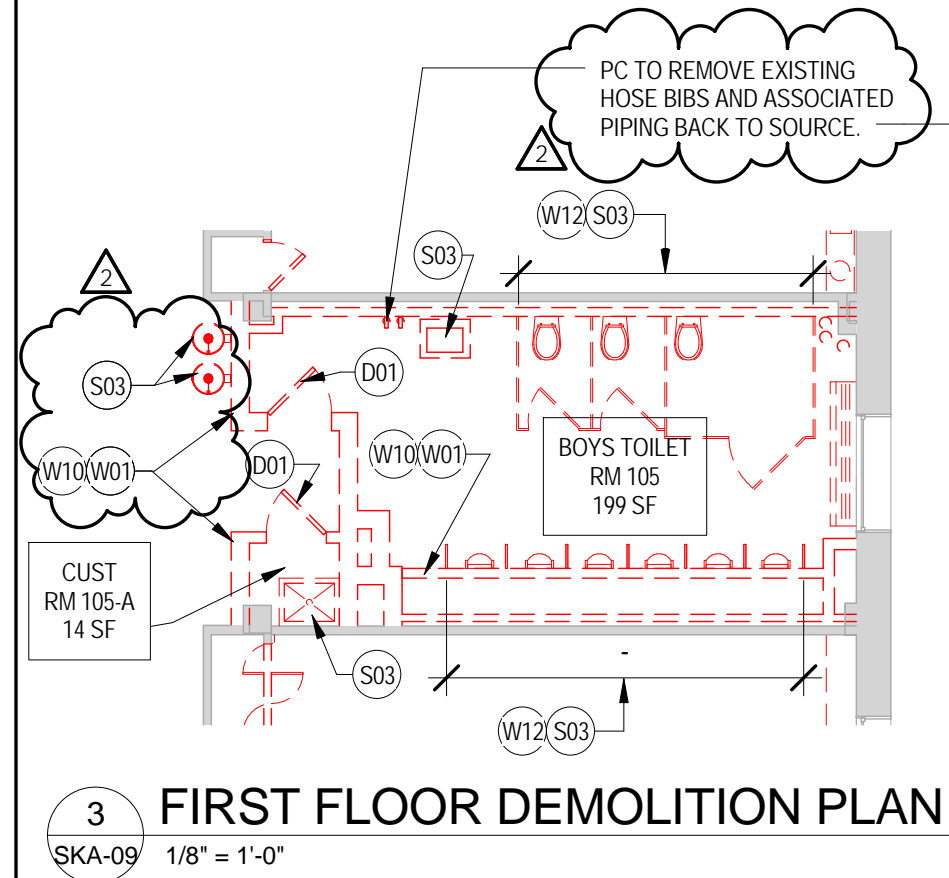
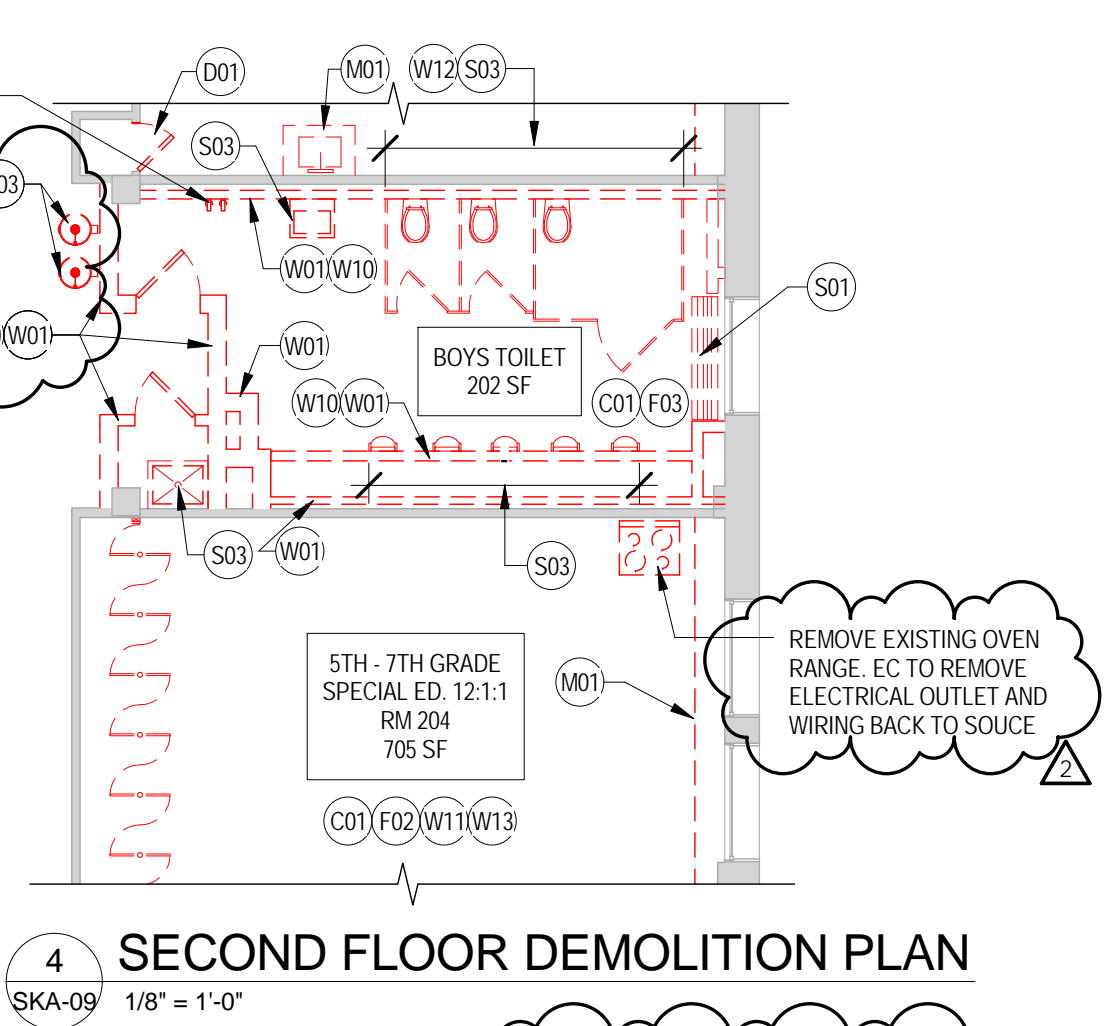
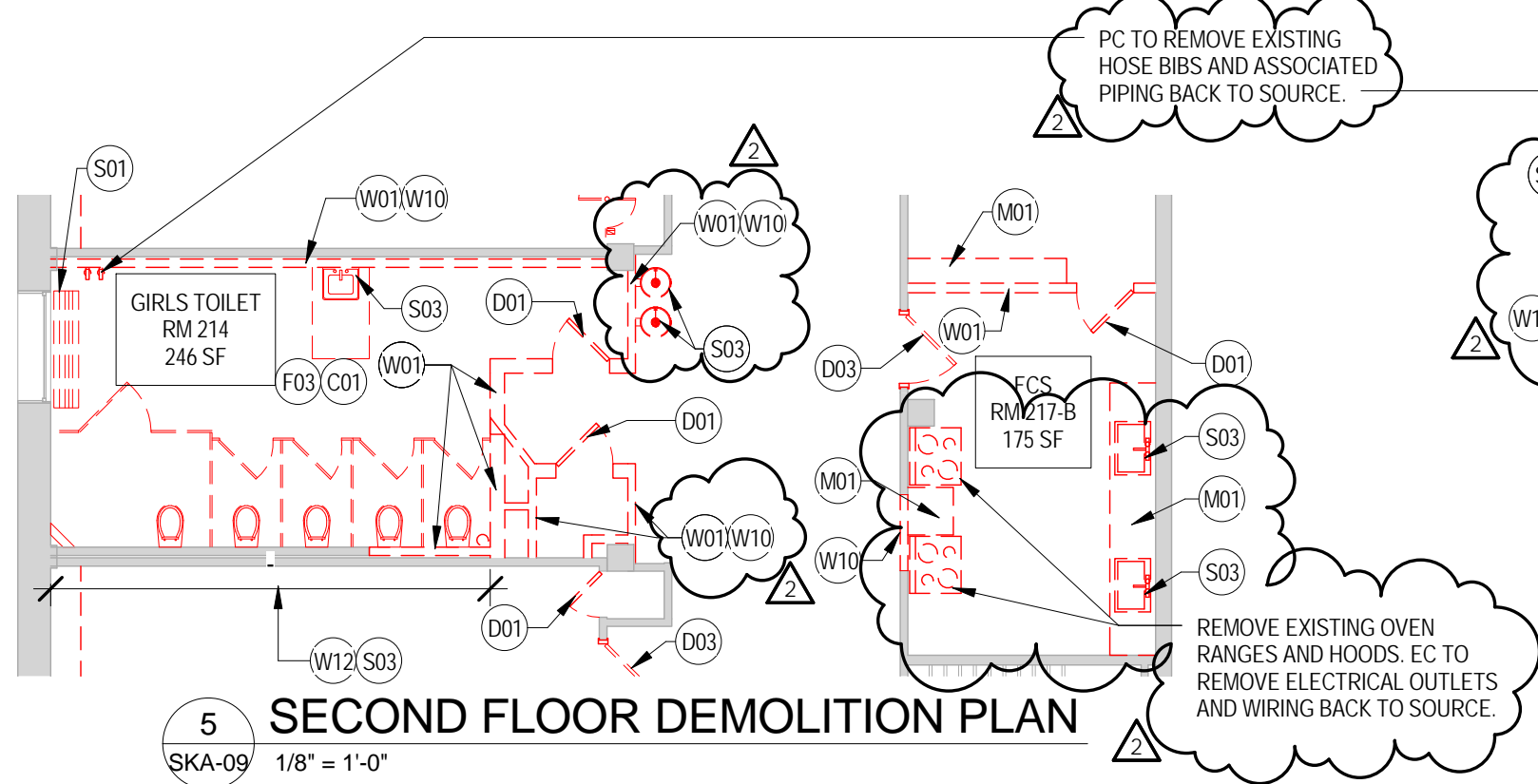
2 DEMOLITION PLAN RM 107
SKA-08 1/8" = 1'-0"

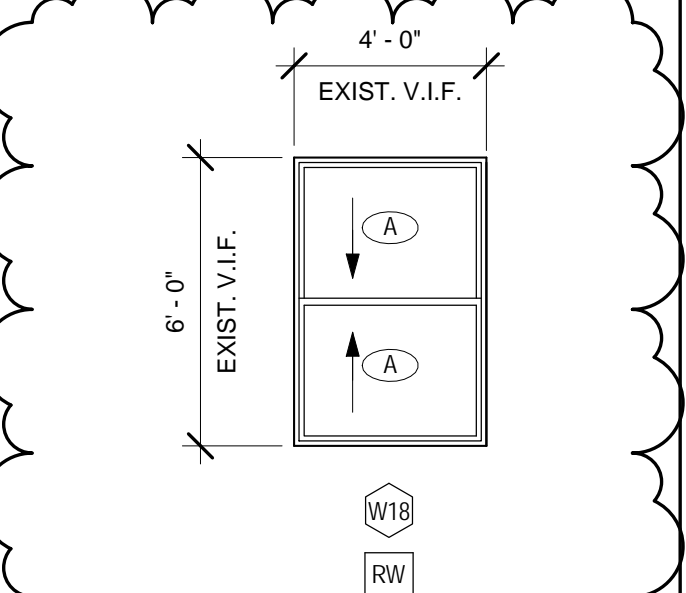
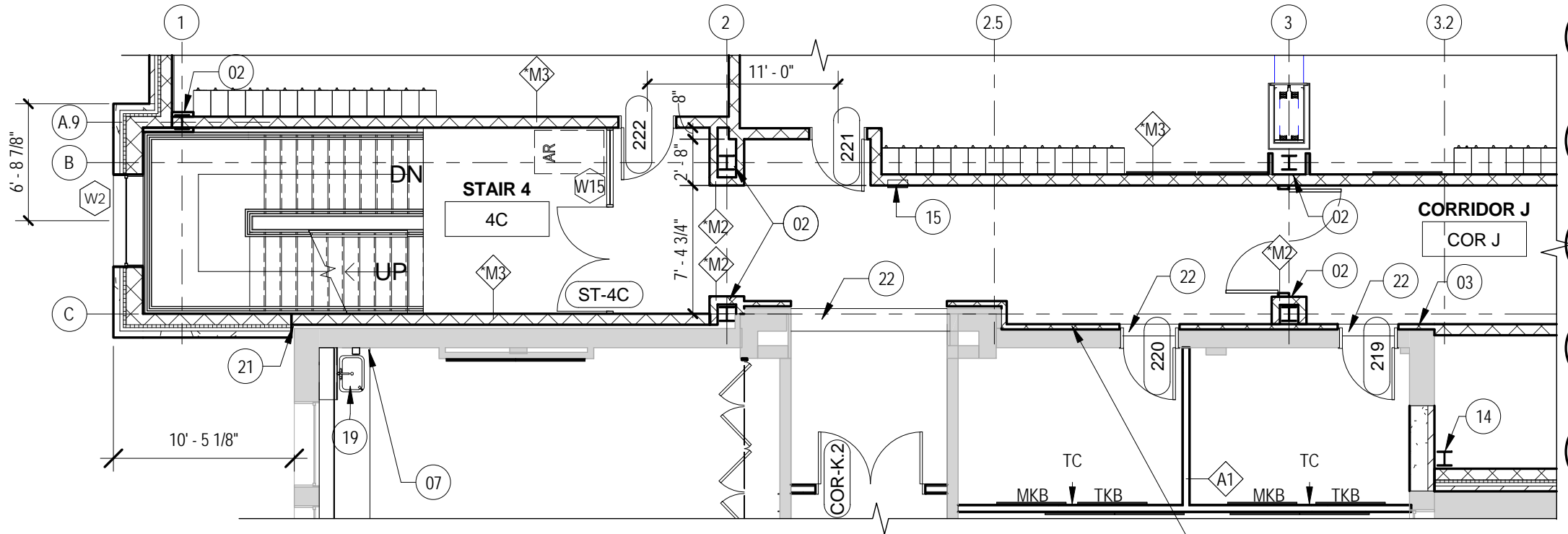
Rochester
Schools
Modernization
Program -Phase
2c
George M.
Forbes-
Renovation,
Alterations and
Addition

DATE: 05/4/18
REV: 2
SCALE: 1/8" = 1'-0"
DRN BY: Author
JOB NO: 1711
DWG REF: D102.1 D102.2
Checker D103.1 D103.2

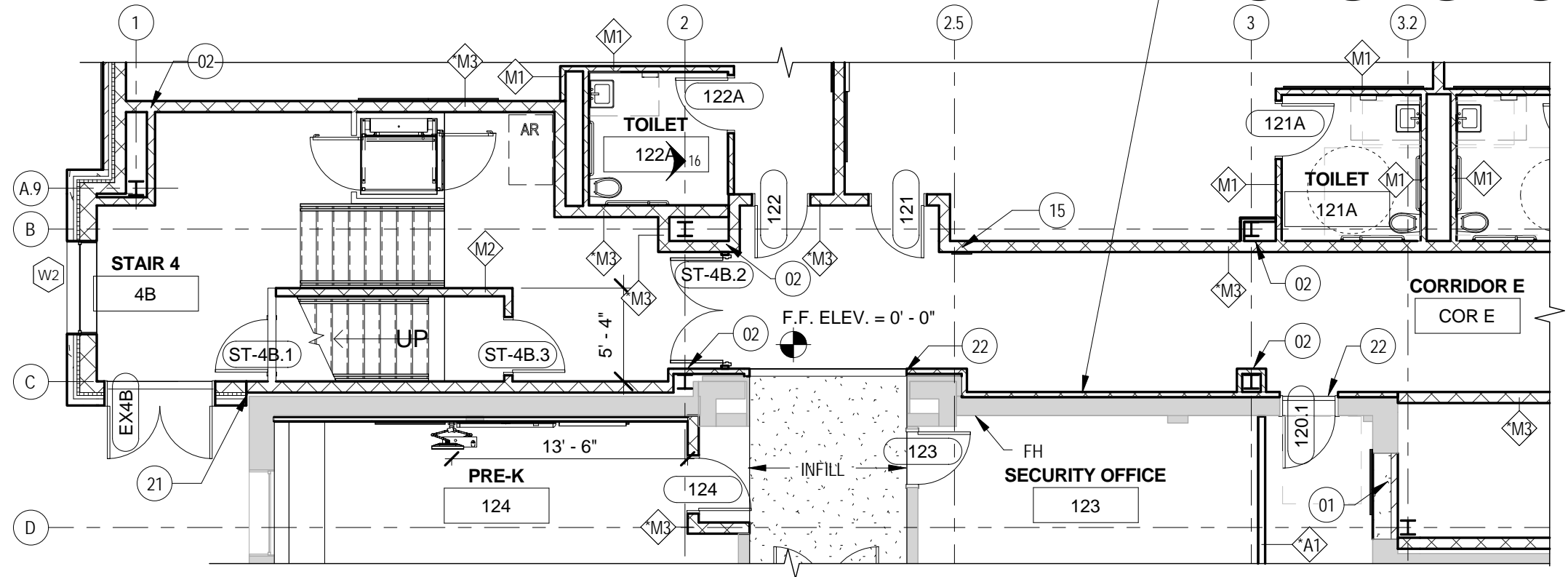
**PARTIAL
DEMOLITION
1ST & 2ND
FLOOR
PLANS**

DWG NO:
SKA-08





2 SECOND FLOOR PLAN
SKA-10 1/8" = 1'-0"



1 FIRST FLOOR PLAN
SKA-10 1/8" = 1'-0"

Rochester
Schools
Modernization
Program -Phase
2c
George M.
Forbes-
Renovation,
Alterations and
Addition

DATE: 05/03/18
REV: 2
SCALEs indicated
DRN BY: ETG
JOB NO: 1711
DWG REF: A102.1,
A103.1 & A803

**PARTIAL
FIRST
AND
SECOND
FLOOR
PLAN**

DWG NO:
SKA-10

WALL TILE SCHEDULE

- CWT 1 - 6"X6" FIELD TILE BOD: DALTILE, SEMI GLOSS, 0190 ARTIC WHITE
- CWT 2 - 6"X6" ACCENT TILE BOD: DALTILE, SEMI GLOSS, Q098 KEY LIME
- CWT 3 - 6"X6" ACCENT TILE BOD: DALTILE SEMI GLOSS, Q161 TOTALLY TANGERINE
- CWT 4 - 6"X6" ACCENT TILE BOD: DALTILE, SEMI GLOSS, 1469 GALAXY
- CWT 5 - 6"X6" ACCENT TILE BOD: DALTILE, SEMI GLOSS, Q097 ORANGE BURST
- CWT 6 - 6"X6" ACCENT TILE BOD: DALTILE, SEMI GLOSS, 0197 AQUA GLOW
- CWT 7 - 6"X6" ACCENT TILE BOD: DALTILE, SEMI GLOSS, DH50 SUNFLOWER
- CWT 8 - 2"X2" MOSAIC TILE BOD: DALTILE, SEMI GLOSS, 0100 WHITE
- CWT 9 - 2"X2" MOSAIC TILE BOD: DALTILE, SEMI GLOSS, 0142 LUMINARY GOLD
- CWT 10 - 2"X2" MOSAIC TILE BOD: DALTILE, SEMI GLOSS, 1469 GALAXY
- CWT 11 - 2"X2" MOSAIC TILE BOD: DALTILE, SEMI GLOSS, 0197 AQUA GLOW
- CWT 12 - 2"X2" MOSAIC TILE BOD: DALTILE, SEMI GLOSS, Q098 KEY LIME
- CWT 13 - 2"X2" MOSAIC TILE BOD: DALTILE, SEMI GLOSS, 1469 GALAXY
- CWT 14 - 4 1/4"X12 7/8" PLANK TILE: DALTILE, SEMI GLOSS, 0138 GOLDEN GRANITE
- CWT 15 - 4 1/4"X12 7/8" PLANK TILE: DALTILE, MATTE, 0190 ARTIC WHITE
- CWT 16 - 2"X2" MOSAIC TILE : DALTILE, SEMI GLOSS, 0190 ARTIC WHITE
- CWT 17 - 2"X2" MOSAIC TILE : DALTILE, SEMI GLOSS, DH50 SUNFLOWER
- CWT 18 - 4 1/4"X12 7/8" PLANK TILE : DALTILE, SEMI GLOSS, 0190 ARTIC WHITE

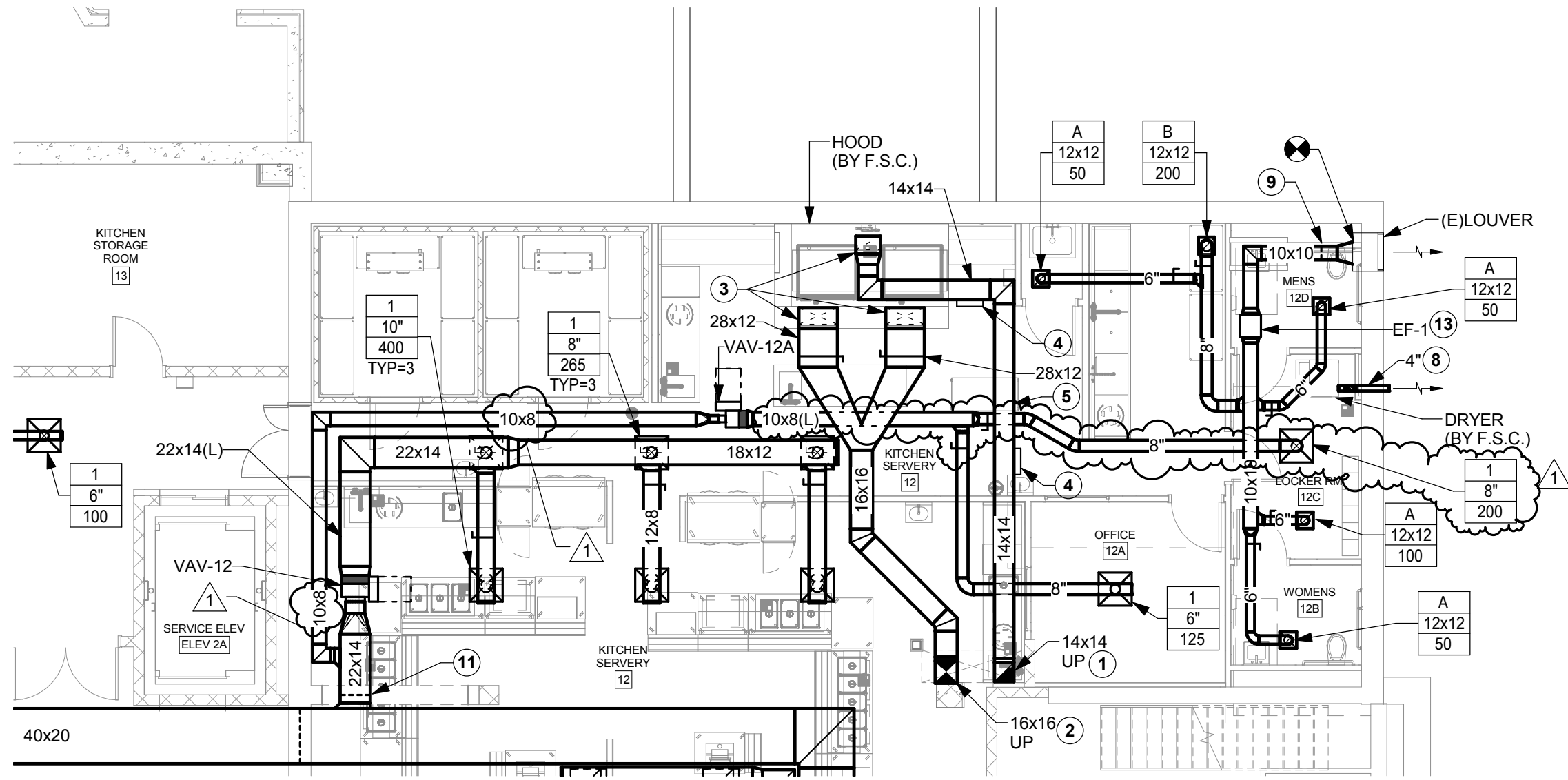
TILE TYPES REPRESENT DIFFERENT COLOR GLAZED CERAMIC TILES.
BOD: COLORS TO BE SELECTED BY ARCHITECT UPON SUBMITTALS .



DRAWING TITLE:
WALL TILE SCHEDULE

DATE: 05/04/18 JOB NO: 1711
REV: ADD. #2 DWG REF: A-600'S
SCALE: 1/4" = 1'-0"
DRN BY: Author

SKA-11



1 PARTIAL BASEMENT PLAN - DUCTWORK
1/8" = 1'-0"
0' 4' 8' 16'

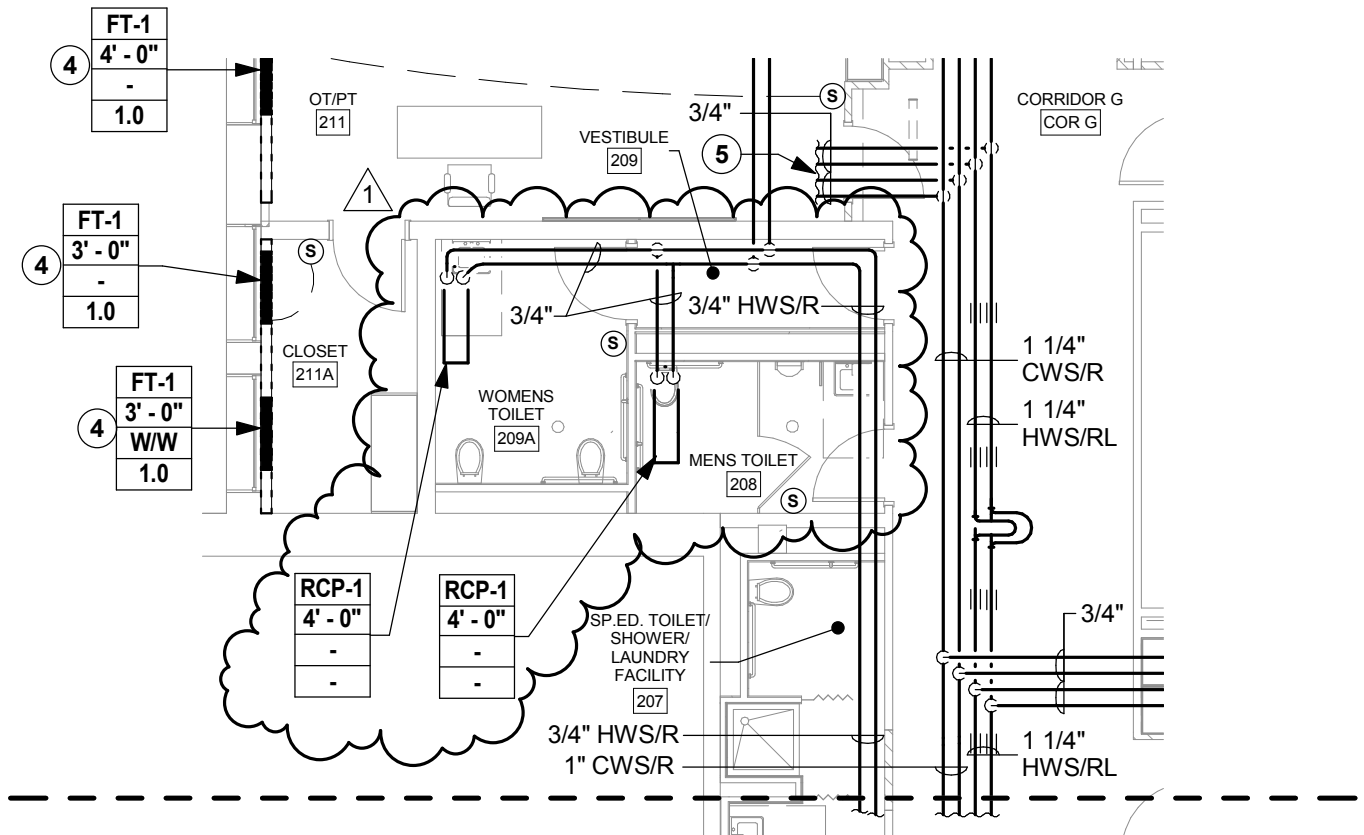
PUMP SCHEDULE

PUMP NO.	LOCATION	SERVICE	UNIT TYPE & DESCRIPTION	PUMP CAPACITY		MAX WWP	MOTOR CHARACTERISTICS				
				FLOW (GPM)	TOTAL HEAD IN FEET		RPM	HP	VOLTS	PHASE	STARTER
HWP-1	BOILER RM. 8	HEATING (180-DEG)	END-SUCTION	210	35	175	1760	5	460	3	ASD BY E.C.
HWP-2	BOILER RM. 8	HEATING (180-DEG)	END-SUCTION	210	35	175	1760	5	460	3	ASD BY E.C.
HWP-3	BOILER RM. 8	HEATING (130-DEG)	END-SUCTION	95	40	175	1760	2	460	3	ASD BY E.C.
HWP-4	BOILER RM. 8	HEATING (130-DEG)	END-SUCTION	95	40	175	1760	2	460	3	ASD BY E.C.
HWP-5	MECHANICAL PENTHOUSE 300	AHU-1	CIRCULATOR	3	5.6	125	-	1/20	115	1	BY E.C.
HWP-6	2ND FLOOR FAN ROOM	AHU-2	CIRCULATOR	18	8.0	125	-	1/8	115	1	BY E.C.
HWP-7	MECHANICAL PENTHOUSE 300	DOAS-1	CIRCULATOR	24	6.8	125	-	1/8	115	1	BY E.C.
HWP-8	MECHANICAL PENTHOUSE 300	DOAS-2	CIRCULATOR	1.5	5.5	125	-	1/40	115	1	BY E.C.
HWP-9	BOILER RM. 8	HC-1	CIRCULATOR	15	11	125	-	1/8	115	1	BY E.C.
BWP-1	BOILER RM. 8	BOILER 1	INLINE	200	15	175	1160	1.5	460	3	ASD BY E.C.
BWP-2	BOILER RM. 8	BOILER 2	INLINE	200	15	175	1160	1.5	460	3	ASD BY E.C.
CWP-1	MECHANICAL PENTHOUSE 300	CHILLER 1	END-SUCTION	240	38	175	1760	5	460	3	ASD BY E.C.
CWP-2	MECHANICAL PENTHOUSE 300	CHILLER 2	INLINE	46	28	175	1760	3/4	460	3	ASD BY E.C.
CWP-3	MECHANICAL PENTHOUSE 300	COOLING	END-SUCTION	290	50	175	1760	7.5	460	3	ASD BY E.C.
CWP-4	MECHANICAL PENTHOUSE 300	COOLING	END-SUCTION	290	50	175	1760	7.5	460	3	ASD BY E.C.

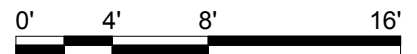
REMARKS:
1. INVERTER DUTY MOTOR
2. STAND-BY

IMPELLER SIZE (DIA. In.)	FLUID TEMP. (°F)	PUMP EFF. (%)	BHP	SUCTION & DISCHARGE SIZES	MANUFACTURER & MODEL No.	REMARKS
6.3	180	73	2.53	3" x 2.5"	TACO FI2507C	1
6.3	180	73	2.53	3" x 2.5"	TACO FI2507C	1,2
7.2	130	57	1.68	2" x 1.25"	TACO FI1207	1
7.2	130	57	1.68	2" x 1.25"	TACO FI1207	1,2
-	180	-	-	-	TACO IL007	
-	180	-	-	-	TACO IL0011	
-	180	-	-	-	TACO IL0011	
-	180	-	-	-	TACO IL006	
-	180	-	-	-	TACO IL0011	
6.9	180	68	1.09	3" x 3"	TACO KV3007	1
6.9	180	68	1.09	3" x 3"	TACO KV3007	1
6.6	180	76	3.05	3" x 2.5"	TACO FI2507D	1
5.9	45	54	0.60	1.5" x 1.5"	TACO 1915	1
7.3	45	77	4.79	4" x 3"	TACO FI3007	1
7.3	45	77	4.79	4" x 3"	TACO FI3007	1,2

1



1 PARTIAL SECOND FLOOR PLAN - PIPING
 1/8" = 1'-0"

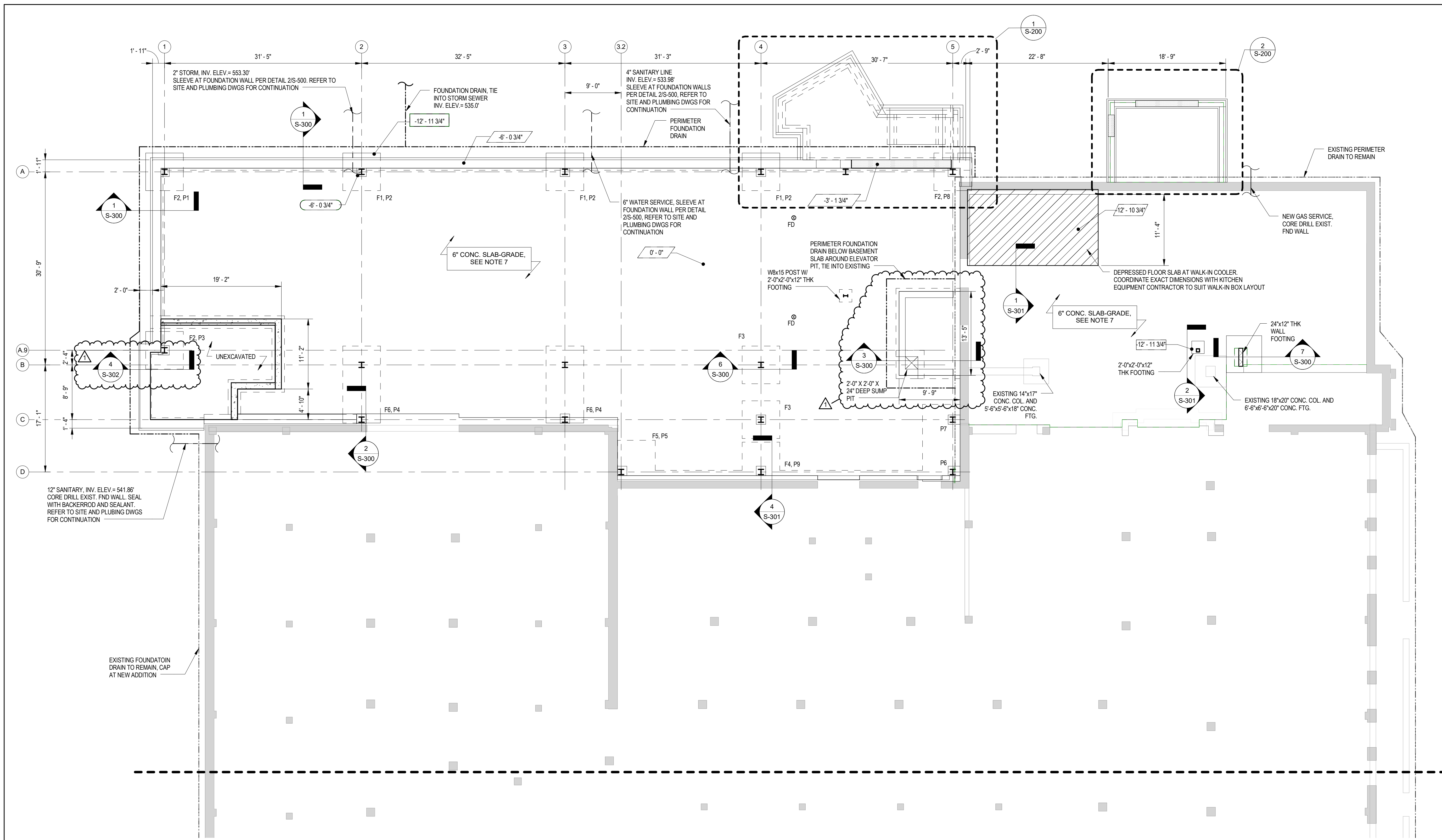


DRAWING TITLE:
PARTIAL SECOND FLOOR PIPING PLAN - HVAC

DATE: 05/04/18
 REV: ADDENDUM 2
 SCALE: 1/8" = 1'-0"
 DRN BY: AMR

JOB NO: 1711
 DWG REF: M-107.1

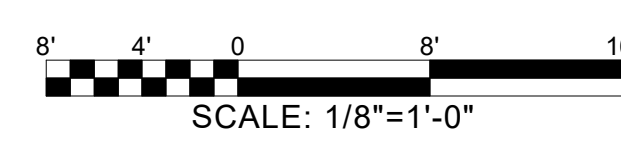
SKM-04



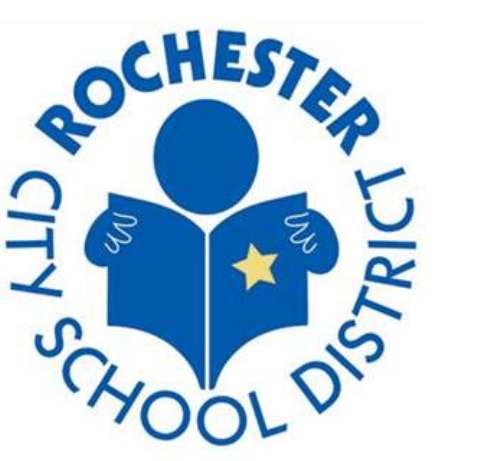
NOTES:

- REFERENCE ELEVATION= 0'-0" (548.30')= FINISHED FIRST FLOOR ELEVATION AT ADDITION.
- T/SLAB ELEV.= -12'-0" (536.30') UNLESS NOTED OTHERWISE.
- X-XX' DENOTES T/FOOTING ELEVATION FROM REFERENCE ELEVATION.
- X-XX' DENOTES T/WALL OR T/PIER ELEVATION FROM REFERENCE ELEVATION.
- X-XX' DENOTES T/SLAB ELEVATION FROM REFERENCE.
- X-XX' DENOTES SLAB OVER POUR AT DOOR OPENING. REFER TO ARCH DWGS FOR EXACT SIZE AND LOCATION.
- CONCRETE SLAB-ON-GRADE SHALL BE 6" THICK W/ #4@12" EACH WAY ON 4" THICK COMPACTED CRUSHED STONE. VAPOR RETARDER SHALL BE PLACED DIRECTLY BELOW ALL CONDITIONED INTERIOR SLABS-ON-GRADE.
- Px DENOTES PIER TYPE, REFER TO S-400.
- Fx DENOTES FOOTING TYPE, REFER TO S-400 FOR FOOTING SCHEDULE.
- FS DENOTES FOOTING STEP, REFER TO S-500.
- == DENOTES (2) SETS OF (2) #4 BARS@2'-0" LG @ EACH RE-ENTRANT CORNER, PROVIDE 6" SPACING BETWEEN SETS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AT EXISTING CONSTRUCTION.
- PROVIDE THICKENED SLAB UNDER ALL NON-LOAD BEARING CMU WALL PER S-500.
- COORDINATE EXTERIOR BEARING BRICK SHELF ELEVATION WITH ARCH AND CIVIL DWGS.
- FD DENOTES FLOOR DRAIN LOCATION. SEE PLUMBING AND ARCHITECTURAL DWGS. TOP OF FLOOR DRAIN GRATE ELEVATION TO BE SET 0'-1/2" BELOW FINISH FLOOR ELEVATION. PITCH SLAB UNIFORMLY TO FLOOR DRAINS.

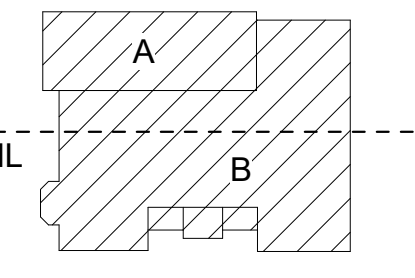
GENERAL CONTRACTOR TO REMOVE ROCK TO REQUIRED ELEVATION AND DIMENSIONS TO ALLOW CONSTRUCTION PER CONTRACT DOCUMENTS INCLUDING ROCK REMOVAL FOR UNDERGROUND UTILITIES.



1 FOUNDATION PLAN
S-101.1 1/8" = 1'-0"



JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
George M. Forbes- Renovation, Alterations
and Addition

198 Dr Samuel McCree Way,
Rochester, NY 14611

REV. #	DESCRIPTION	DATE
1	ADDENDA #2	5/04/2018

JOB NO.	1711
SCALE	As indicated
ISSUE DATE	4/9/18
DRAWN BY	SNP
CHECKED BY	MNW

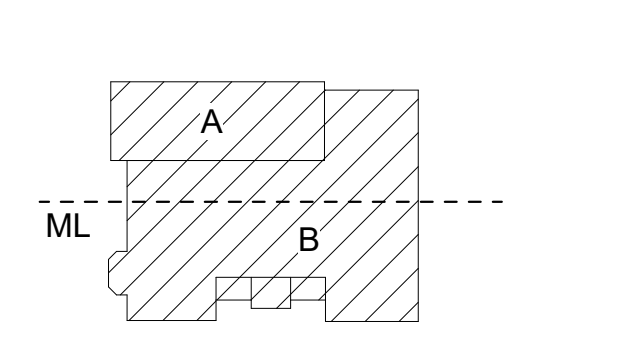
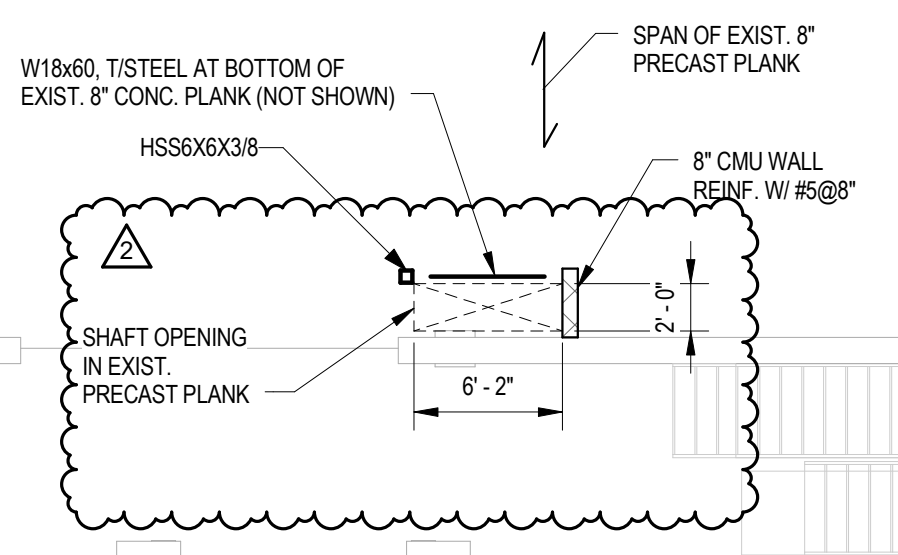
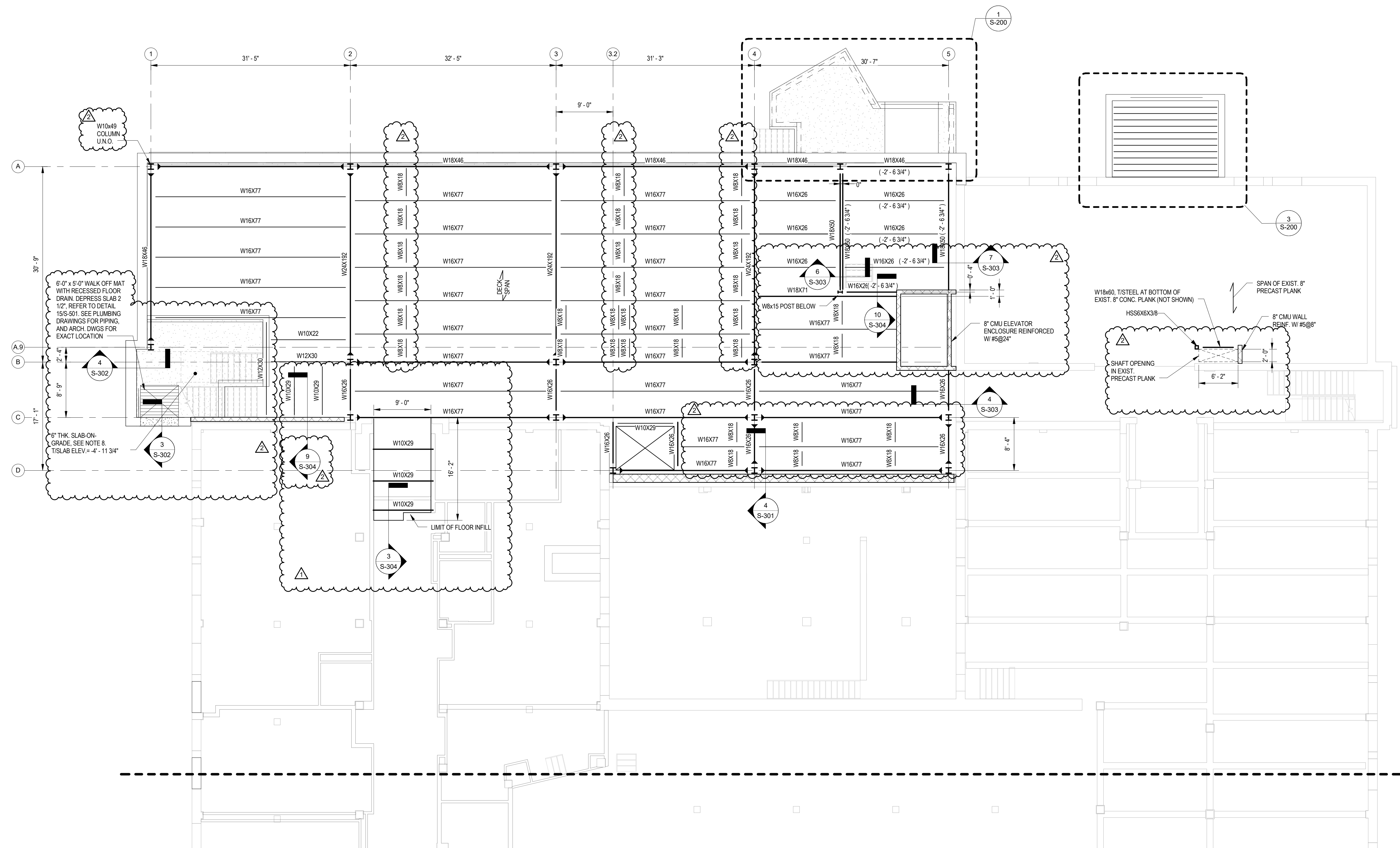
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DRAWING TITLE

FOUNDATION PLAN

S-101.1

ISSUED FOR REVIEW



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
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198 Dr Samuel McCree Way,
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REV. #	DESCRIPTION	DATE
1	ADDENDA #1	4/25/2018
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DRAWN BY	SNP
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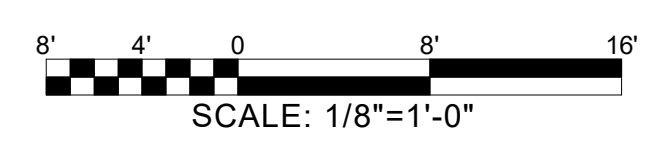
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**FIRST FLOOR
FRAMING PLAN**

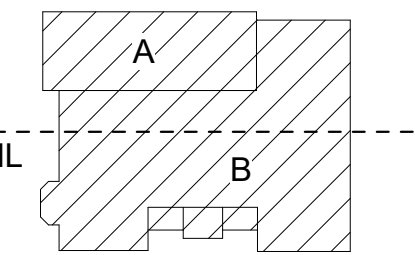
S-102.1

ISSUED FOR REVIEW

- NOTES:
- REFERENCE ELEVATION = 0'-0" (548.30') FINISHED FIRST FLOOR ELEVATION AT ADDITION.
 - T/STEEL ELEV. = -0'-4" (547.86') UNLESS NOTED OTHERWISE.
 - FLOOR SLAB SHALL CONSIST OF 2" DEEP G60 GALVANIZED COMPOSITE STEEL DECK, DESIGN THICKNESS 0.0358 INCH (20 GAUGE), (TYPE 2VL20 BY VULCRAFT OR APPROVED EQUAL) WITH 3-1/4 INCH THICK, 3,000 PSI, LIGHTWEIGHT CONCRETE TOPPING (TOTAL THICKNESS= 5-1/4 INCHES) REINFORCED WITH 6#-W1.4XW1.4 WWF. FLOOR SLAB SHALL PROVIDE 2 HR FIRE-RESISTANCE RATING, REFERENCE U.L. DESIGN NO. D902 FOR ASSEMBLY INFORMATION.
 - DENOTES MOMENT CONNECTION MOMENT CONNECTIONS, REFER TO DETAILS ON S-401.
 - COORDINATE FINAL TOP OF SLAB AND TOP OF STEEL ELEVATIONS WITH EXISTING CORRIDOR FLOOR SLABS.
 - CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AT EXISTING CONSTRUCTION.
 - CONTRACTOR AND CONTRACTOR'S ENGINEER SHALL DESIGN AND INSTALL TEMPORARY SHORING SYSTEM TO SUPPORT EXISTING BUILDING COMPONENTS DURING CONSTRUCTION.
 - CONCRETE SLAB-ON-GRADE SHALL BE 6" THICK W/ #4@12" EACH WAY ON 4" THICK COMPACTED CRUSHED STONE. VAPOR RETARDER SHALL BE PLACED DIRECTLY BELOW ALL CONDITIONED INTERIOR SLAB-ON-GRADE.
 - ◻ DENOTES SLAB OVERPOUR AT DOOR OPENING. REFER TO ARCH DWGS FOR EXACT SIZE AND LOCATION.



1 FIRST FLOOR FRAMING PLAN
S-102.1 1/8" = 1'-0"



REV. #	DESCRIPTION	DATE
1	ADDENDA #1	4/25/2018
2	ADDENDA #2	5/04/2018

JOB NO.	1711
SCALE	As indicated
ISSUE DATE	4/9/18
DRAWN BY	SNP
CHECKED BY	MNW

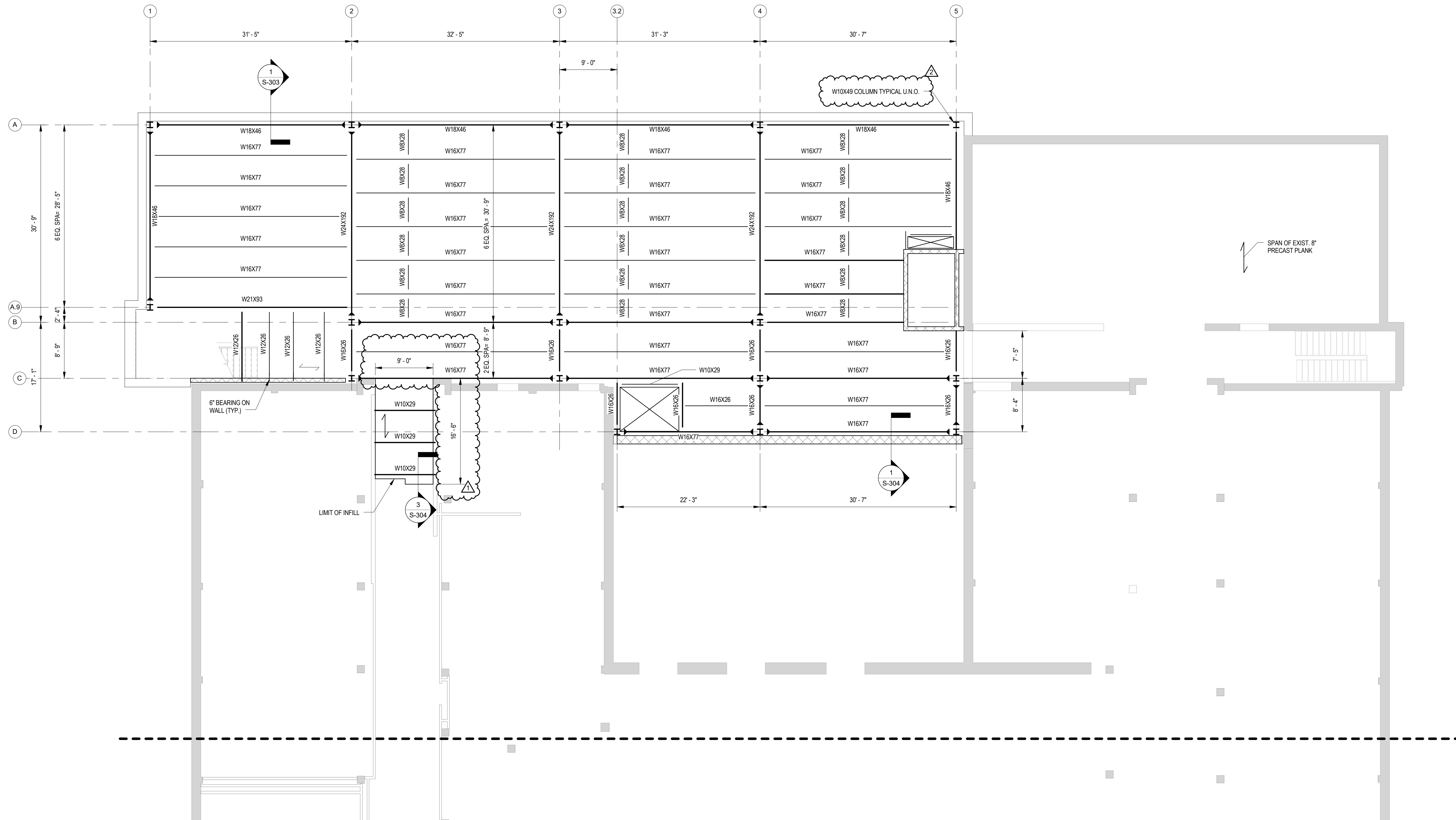
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DRAWING TITLE

**SECOND FLOOR
FRAMING PLAN**

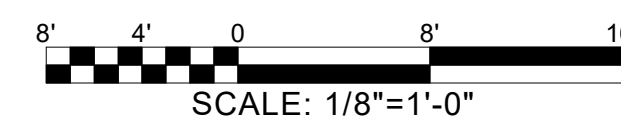
S-103.1

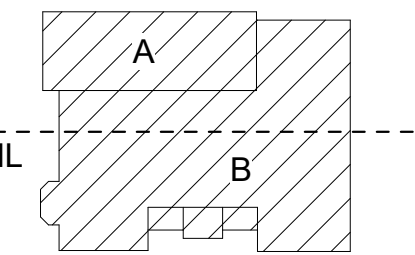
ISSUED FOR REVIEW



NOTES:

- REFERENCE ELEVATION = 0'-0" (548.30)'= FINISHED FIRST FLOOR ELEVATION AT ADDITION.
- T/STEEL ELEV. = +13'-1 3/4" (561.45)' UNLESS NOTED OTHERWISE.
- FLOOR SLAB SHALL CONSIST OF 2" DEEP G60 GALVANIZED COMPOSITE STEEL DECK, DESIGN THICKNESS 0.0358 INCH (20 GAUGE), (TYPE ZVL20 BY VULCRAFT OR APPROVED EQUAL) WITH 3-1/4 INCH THICK, 3,000 PSI, LIGHTWEIGHT CONCRETE TOPPING (TOTAL THICKNESS= 5-1/4 INCHES) REINFORCED WITH 6x6-W14xW14 WWF. FLOOR SLAB SHALL PROVIDE 2 HR FIRE-RESISTANCE RATING, REFERENCE U.L. DESIGN NO. D902 FOR ASSEMBLY INFORMATION.
- DENOTES MOMENT CONNECTION. REFER TO DETAILS ON S-401.
- COORDINATE FINAL TOP OF SLAB AND TOP OF STEEL ELEVATIONS WITH EXISTING CORRIDOR FLOOR SLABS.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AT EXISTING CONSTRUCTION.





REV. #	DESCRIPTION	DATE
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CHECKED BY	MNW

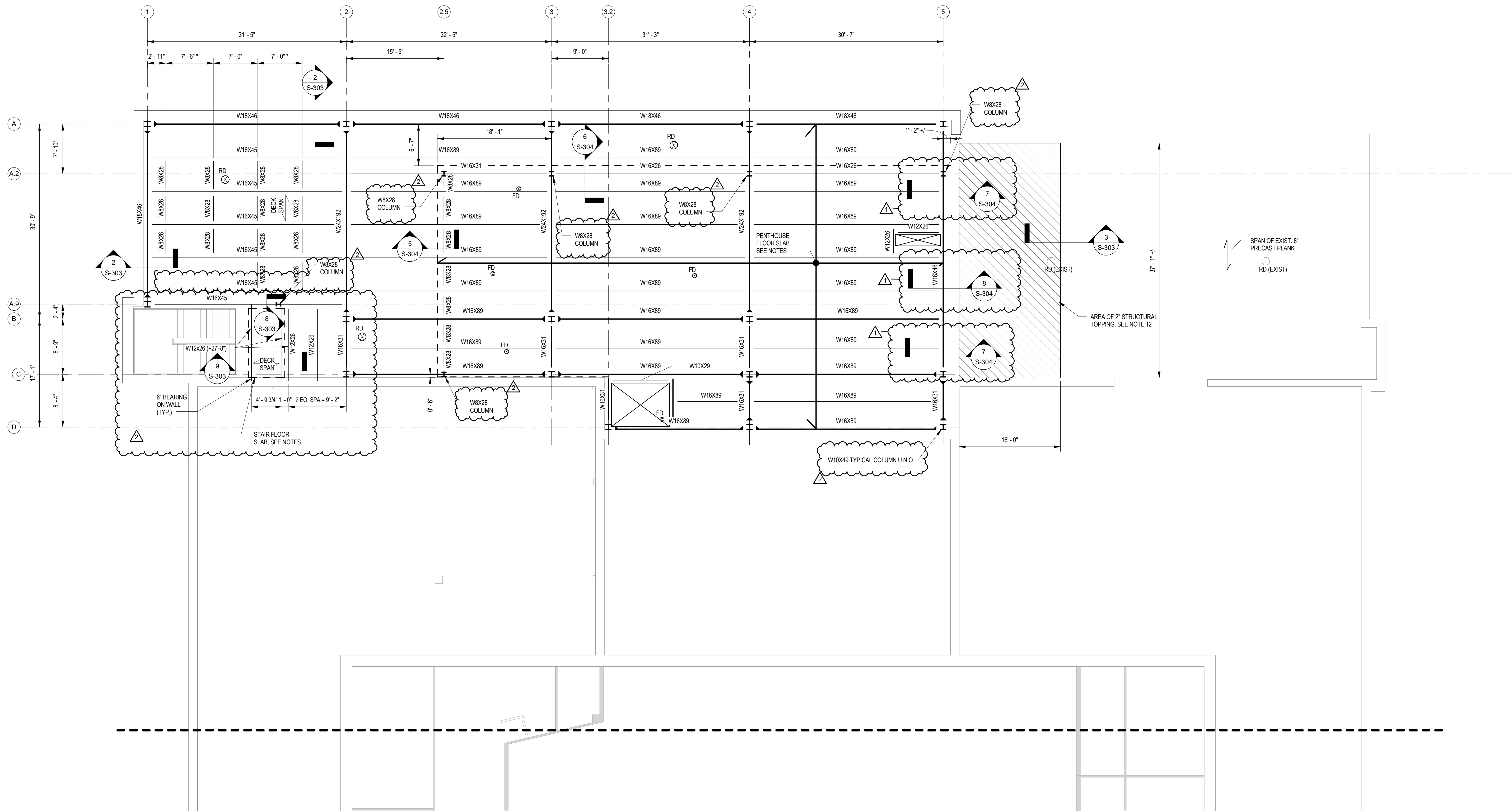
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DRAWING TITLE

ROOF FRAMING PLAN

S-104.1

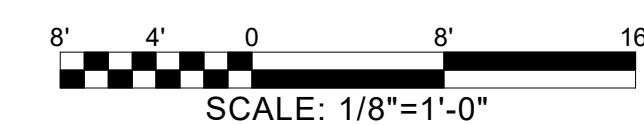
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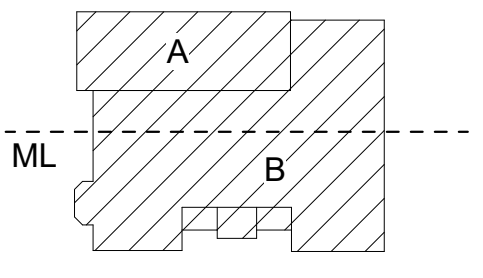


NOTES:

- REFERENCE ELEVATION= 0'-0" (548.30") FINISHED FIRST FLOOR ELEVATION AT ADDITION.
- T/STEEL ELEV = +27'-4" (576.63) UNLESS NOTED OTHERWISE.
- AREA INDICATED BETWEEN COLUMN LINES 3.2 AND 5 ARE THE FLOOR SLABS FOR THE MECHANICAL PENTHOUSE. REFER TO S-105 FOR MECHANICAL PENTHOUSE ROOF FRAMING PLAN.
- FLOOR SLAB SHALL CONSIST OF 2" DEEP #60 GALVANIZED COMPOSITE STEEL DECK, DESIGN THICKNESS 0.0358 INCH (20 GAUGE), (TYPE 2VL120 BY VULCRAFT OR APPROVED EQUAL) WITH 4 INCH THICK, 3,000 PSI, LIGHTWEIGHT CONCRETE TOPPING (TOTAL THICKNESS= 6 INCHES) REINFORCED WITH 6x-W1 4KW1.4 WWF. FLOOR SLAB SHALL PROVIDE 2 HR FIRE-RESISTANCE RATING, REFERENCE U.L. DESIGN NO. D902 FOR ASSEMBLY INFORMATION.
- METAL ROOF DECK SHALL BE 1 1/2" 18 GA. GALV. TYPE B METAL DECK.
- DENOTES MOMENT CONNECTION, REFER TO DETAILS ON S-401.
- CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AT EXISTING CONSTRUCTION.
- RD DENOTES ROOF DRAIN SEE PLUMBING AND ARCHITECTURAL DWGS., FRAME OPENING AT ROOF DRAIN PER DETAIL 12S-500
- ALL SHEAR AND MOMENT CONNECTIONS TO BE DESIGNED BY FABRICATOR CALCULATIONS SHALL BE PROVIDED SIGNED AND STAMPED BY AN ENGINEER LICENSED IN THE STATE OF NEW YORK.
- COORDINATE WITH PLUMBING DRAWINGS FOR SLOPED SLAB AND DRAIN LOCATIONS AT PENTHOUSE FLOOR.
- COORDINATE WITH MECH. DWGS FOR EQUIP. PLACEMENT AT PENTHOUSE FLOOR. NOTIFY ENGINEER IF SIZE OR WEIGHT EXCEED THOSE INDICATED.
- EXISTING NON-STRUCTURAL VARIABLE CONCRETE FILL TOPPING TO BE REMOVED. CONTRACTOR SHALL SUBMIT REMOVAL PLAN FOR REVIEW AND APPROVAL. EXISTING BOND BREAKER SHALL BE REMOVED AND THE TOP SURFACE OF THE PLANK SHALL BE PREPARED USING APPROVED CLEANING AND BONDING PROCEDURES (REMOVE ALL DUST, DIRT, GREASE OR ANY DEBRIS THAT MAY PREVENT BONDING. 2" STRUCTURAL TOPPING SHALL BE STRUCTURAL CONCRETE, 5,000 PSI MINIMUM BONDED TO THE TOP OF THE HOLLOWCORE PLANK WITH A BONDING AGENT.
- FD DENOTES FLOOR DRAIN LOCATION. SEE PLUMBING AND ARCHITECTURAL DWGS. TOP OF FLOOR DRAIN GRATE ELEVATION TO BE SET 0'-1/2" BELOW FINISH FLOOR ELEVATION. PITCH SLAB UNIFORMLY TO FLOOR DRAINS.
- * DENOTES DIMENSION TO BE COORDINATED WITH MECHANICAL CONTRACTOR AND APPROVED EQUIPMENT SHOP DRAWINGS.
- * DENOTES DIMENSION TO BE COORDINATED WITH MECHANICAL CONTRACTOR AND APPROVED EQUIPMENT SHOP DRAWINGS.

1 ROOF FRAMING PLAN
S-104.1
1/8" = 1'-0"





REV. #	DESCRIPTION	DATE
1	ADDENDA #2	5/04/2018

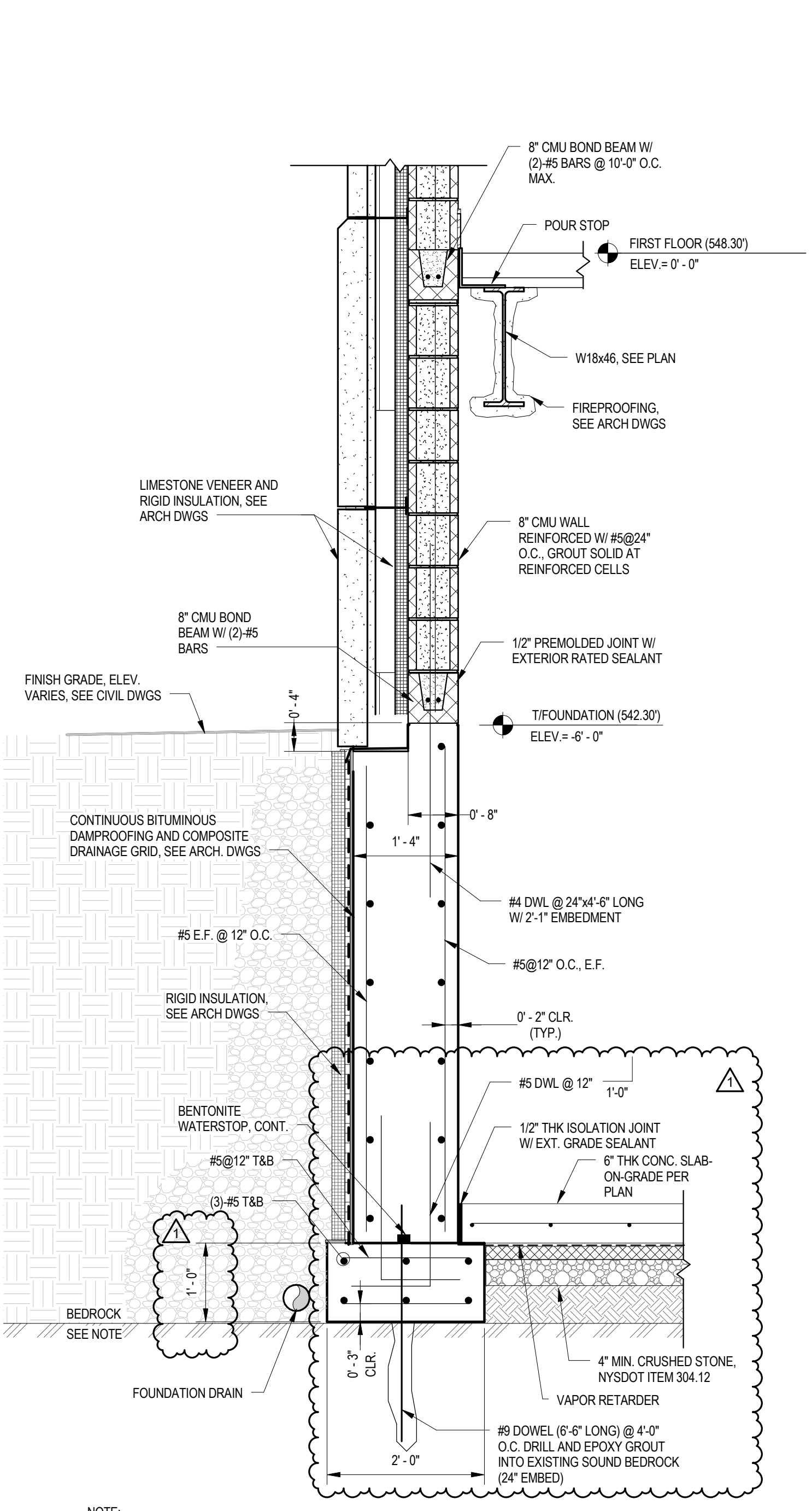
JOB NO.	1711
SCALE	As indicated
ISSUE DATE	4/9/18
DRAWN BY	SNP
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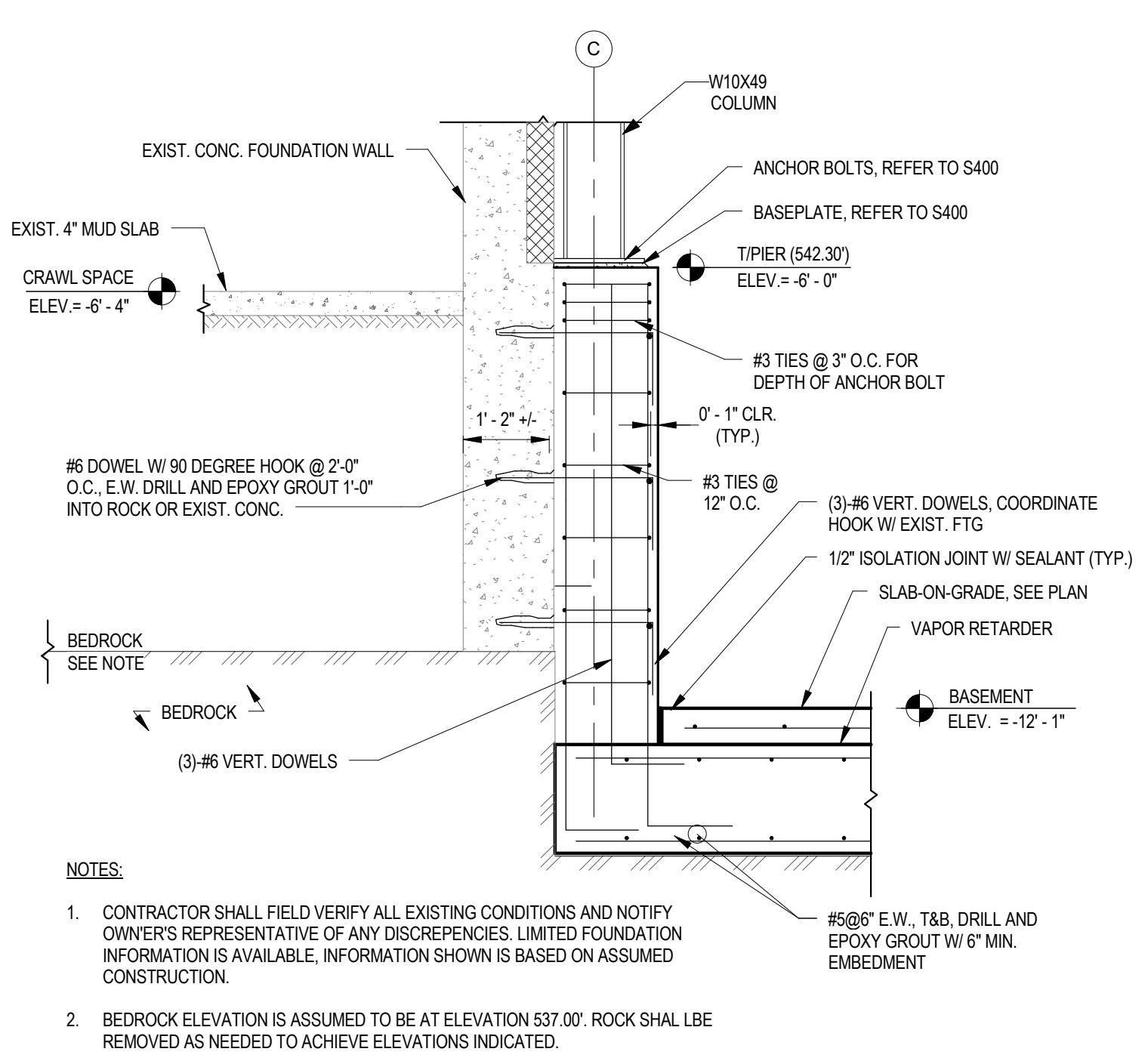
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FOUNDATION SECTIONS

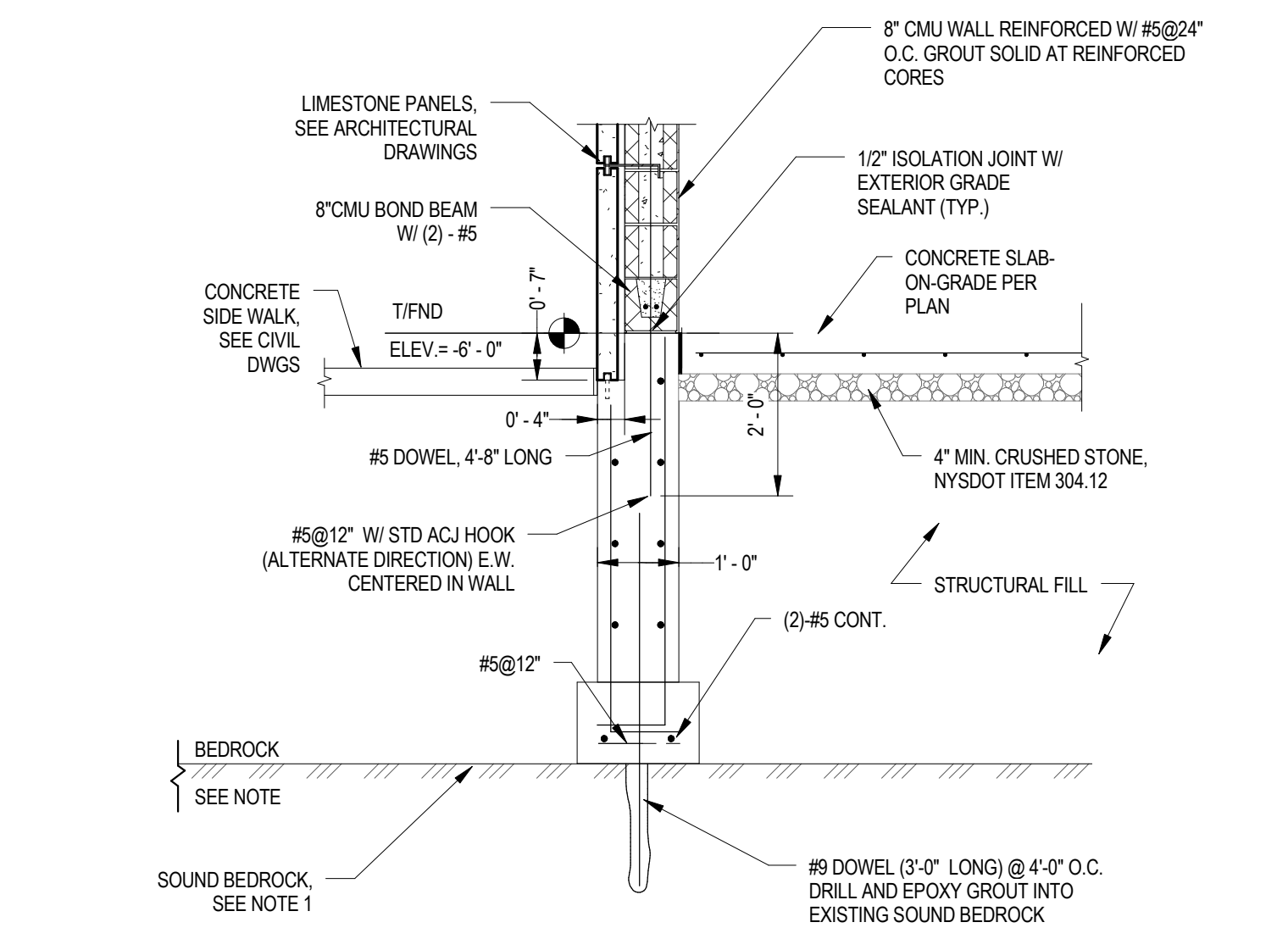
S-300



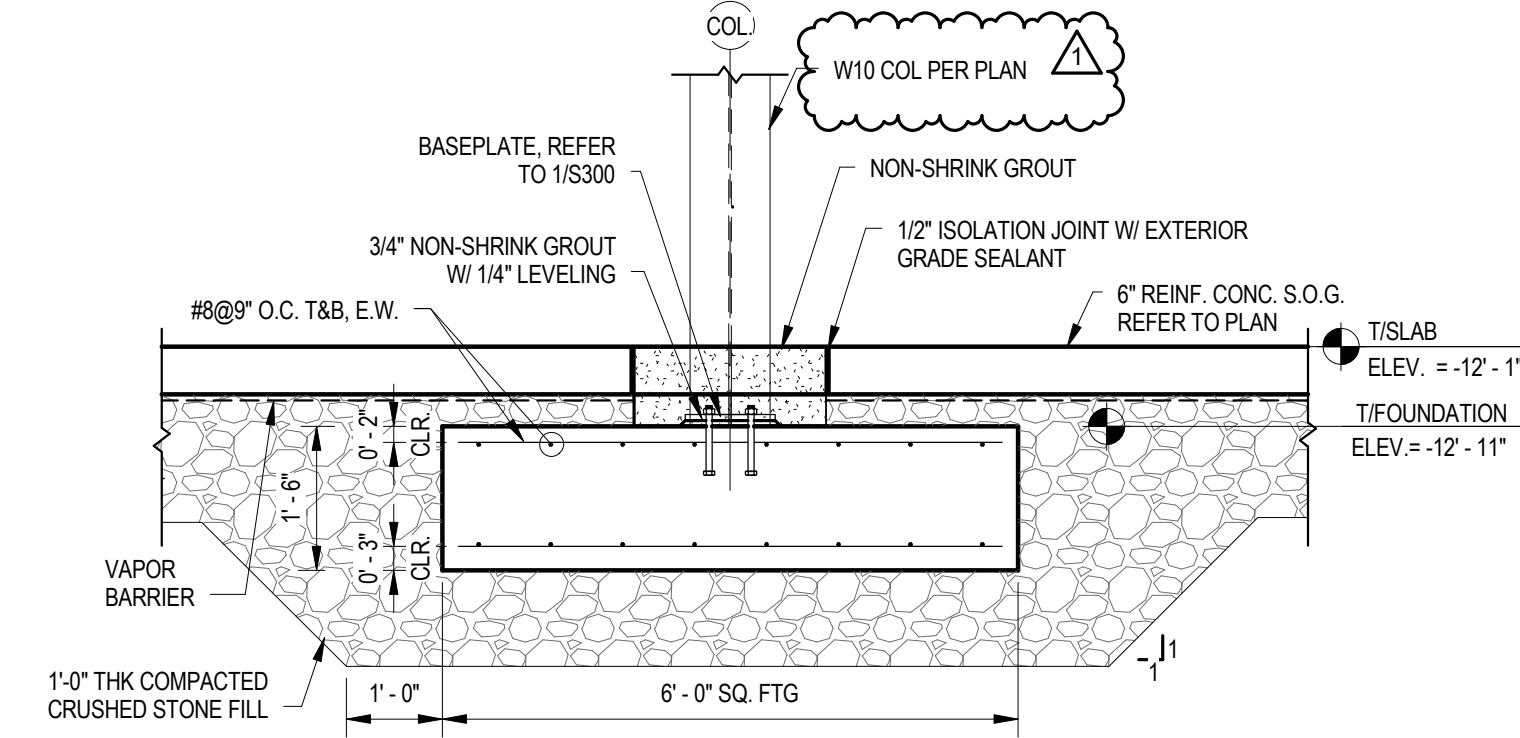
1 FOUNDATION SECTION AT EXTERIOR
S-300 / 3/4" = 1'-0"



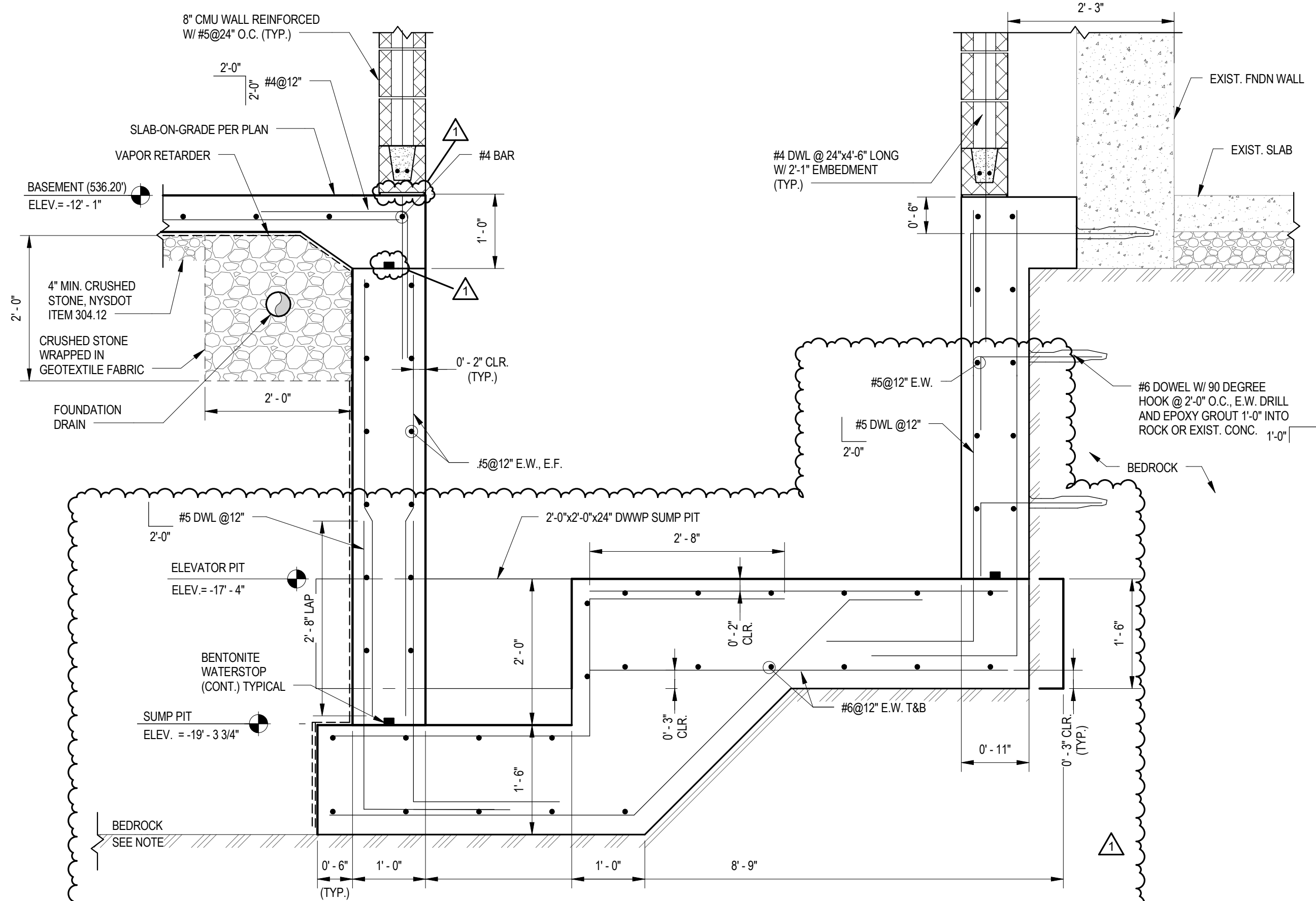
2 FOUNDATION SECTION AT EXISTING
S-300 / 1/2" = 1'-0"



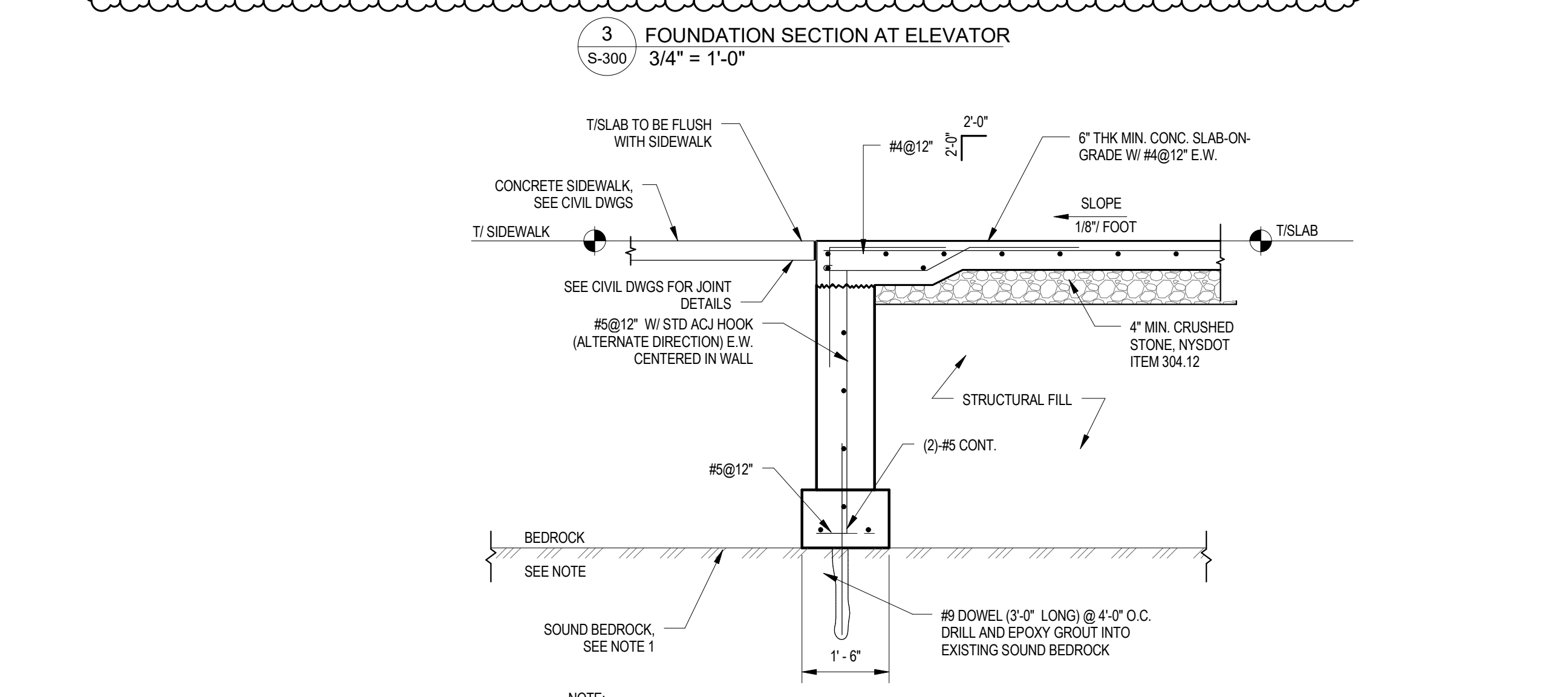
4 FOUNDATION SECTION AT OUTDOOR STORAGE
S-300 / 1/2" = 1'-0"



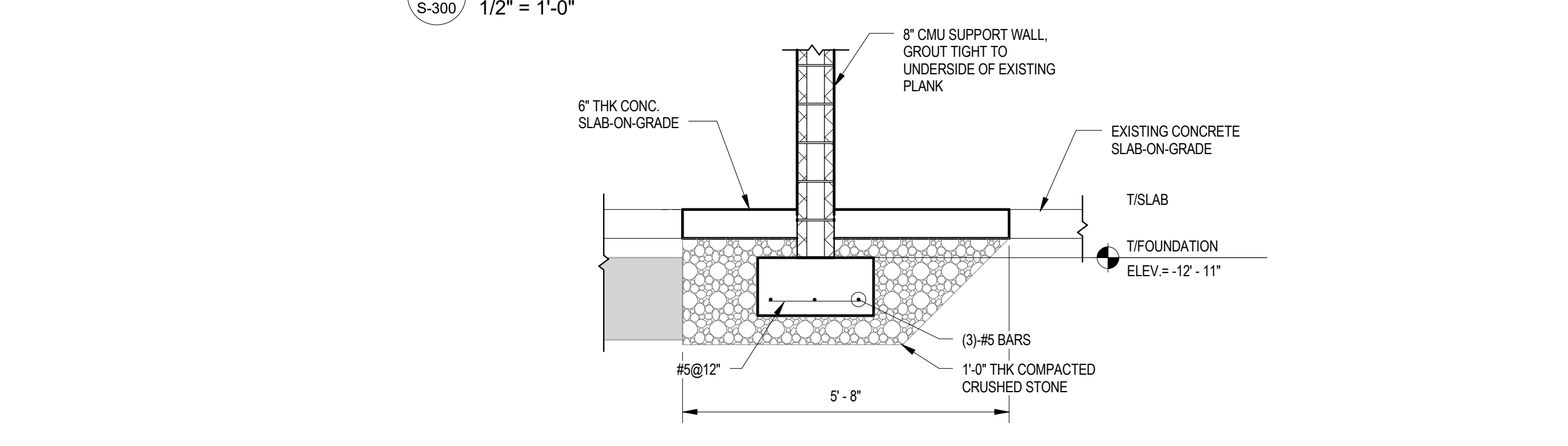
6 FOUNDATION SECTION AT INTERIOR FOOTING
S-300 / 1/2" = 1'-0"



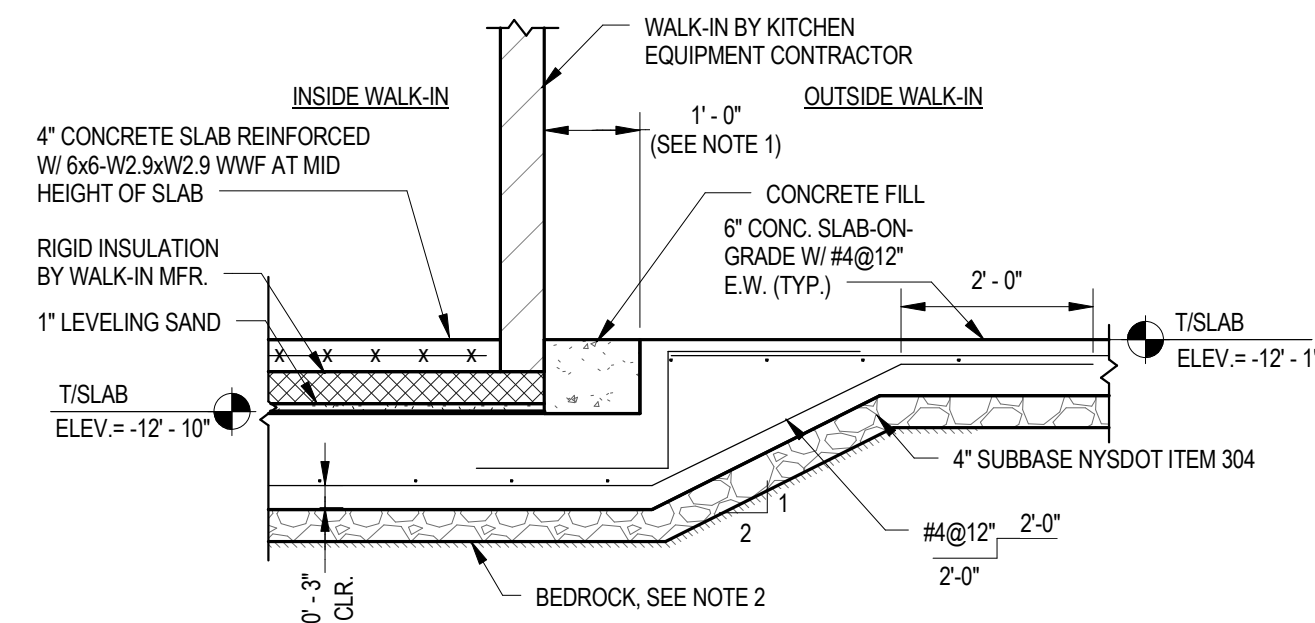
3 FOUNDATION SECTION AT ELEVATOR
S-300 / 3/4" = 1'-0"



5 FOUNDATION SECTION AT OUTDOOR STORAGE
S-300 / 1/2" = 1'-0"

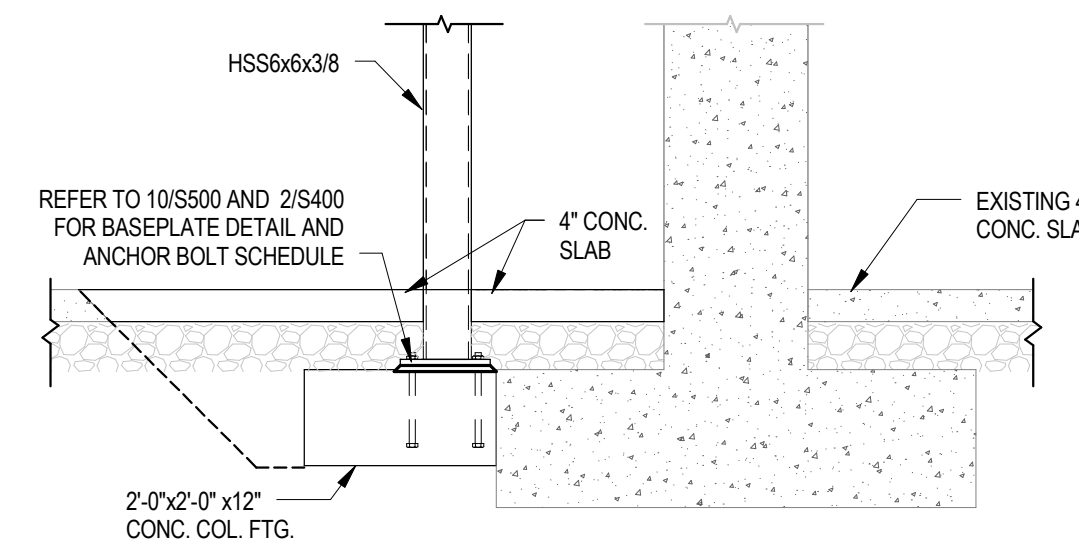


7 FOUNDATION SECTION THROUGH CHASE SUPPORT WALL
S-300 / 1/2" = 1'-0"

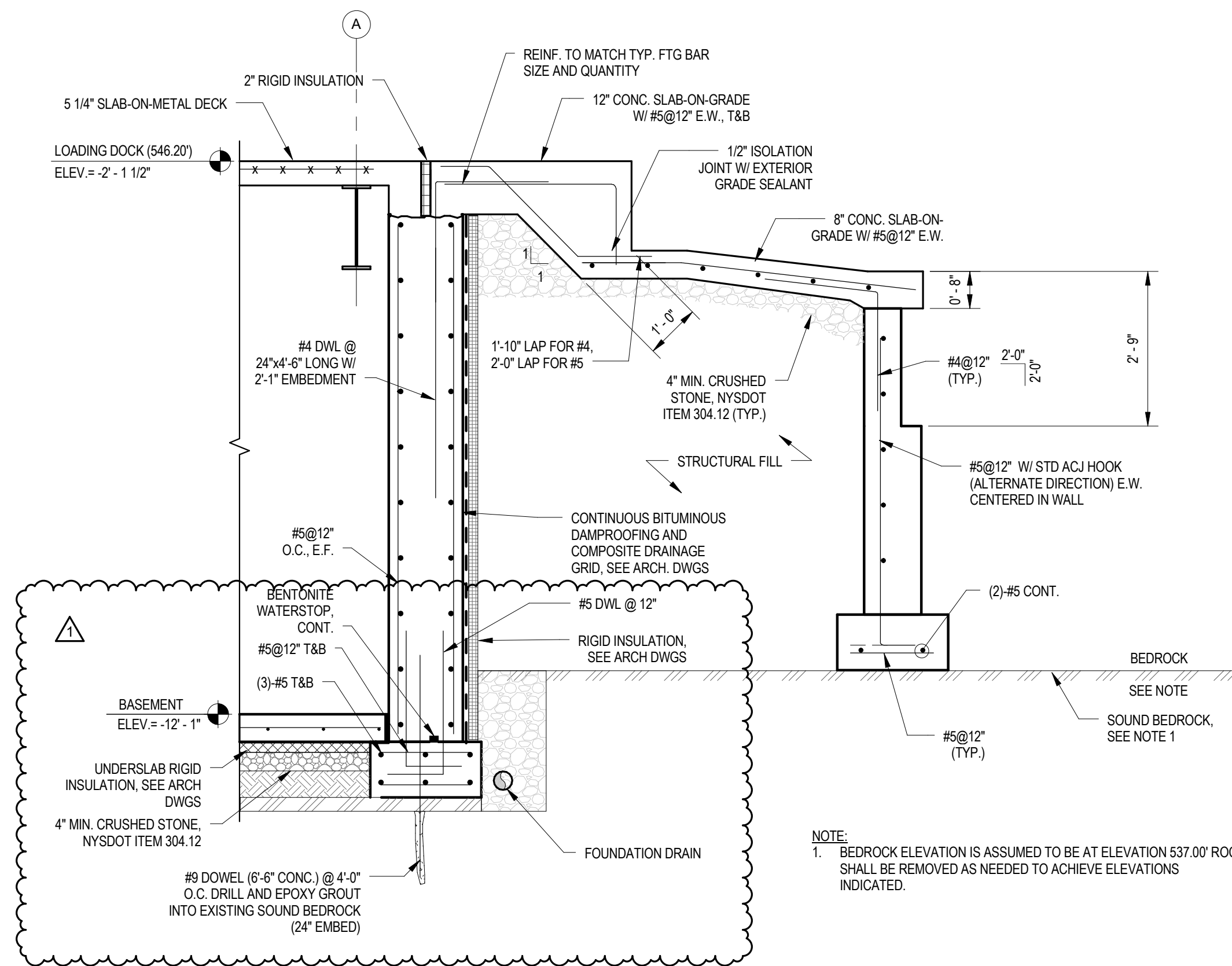


- NOTES:
1. DIMENSION TO BE COORDINATED WITH KITCHEN EQUIPMENT CONTRACTOR TO SUIT WALK-IN BOX LAYOUT.
 2. REMOVE BEDROCK AS REQUIRED TO ACHIEVE SLAB ELEVATIONS AS SHOWN.

1 SLAB SECTION AT WALK-INS
S-301 1/2" = 1'-0"

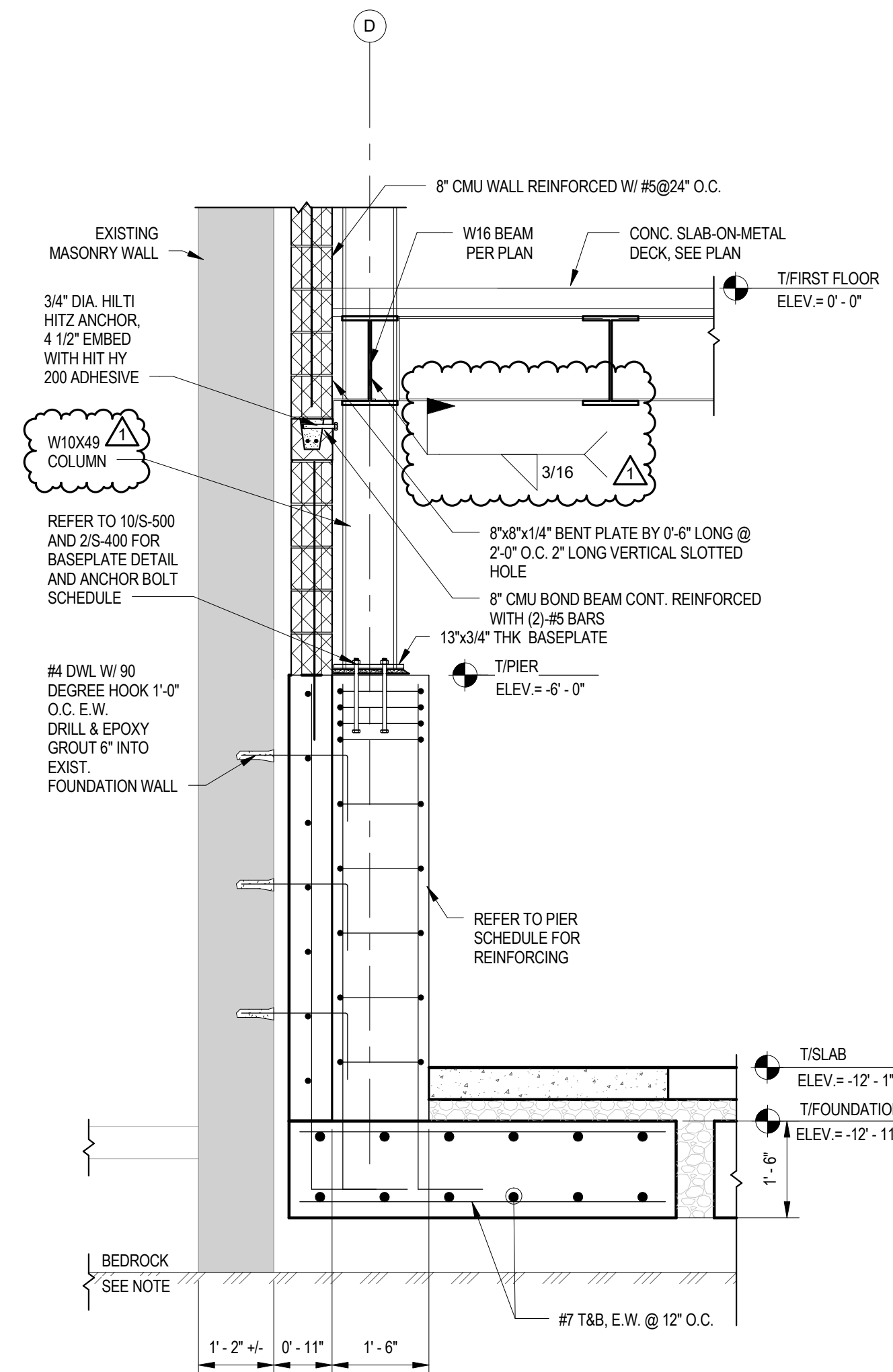


2 FOUNDATION SECTION AT CHASE SUPPORT POST
S-301 1/2" = 1'-0"



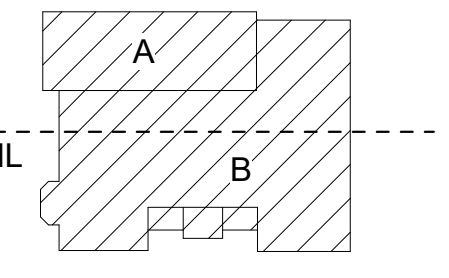
- NOTE:
1. BEDROCK ELEVATION IS ASSUMED TO BE AT ELEVATION 537.00' ROCK SHALL BE REMOVED AS NEEDED TO ACHIEVE ELEVATIONS INDICATED.

3 FOUNDATION SECTION AT LOADING DOCK
S-301 1/2" = 1'-0"



4 FOUNDATION SECTION AT EXISTING
S-301 1/2" = 1'-0"

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

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DWT SED #
26-16-00-01-7-999-020

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198 Dr Samuel McCree Way,
Rochester, NY 14611

REV. #	DESCRIPTION	DATE
1	ADDENDA #2	5/04/2018

JOB NO.	1711
SCALE	1/2" = 1'-0"
ISSUE DATE	4/9/18
DRAWN BY	SNP
CHECKED BY	MNW

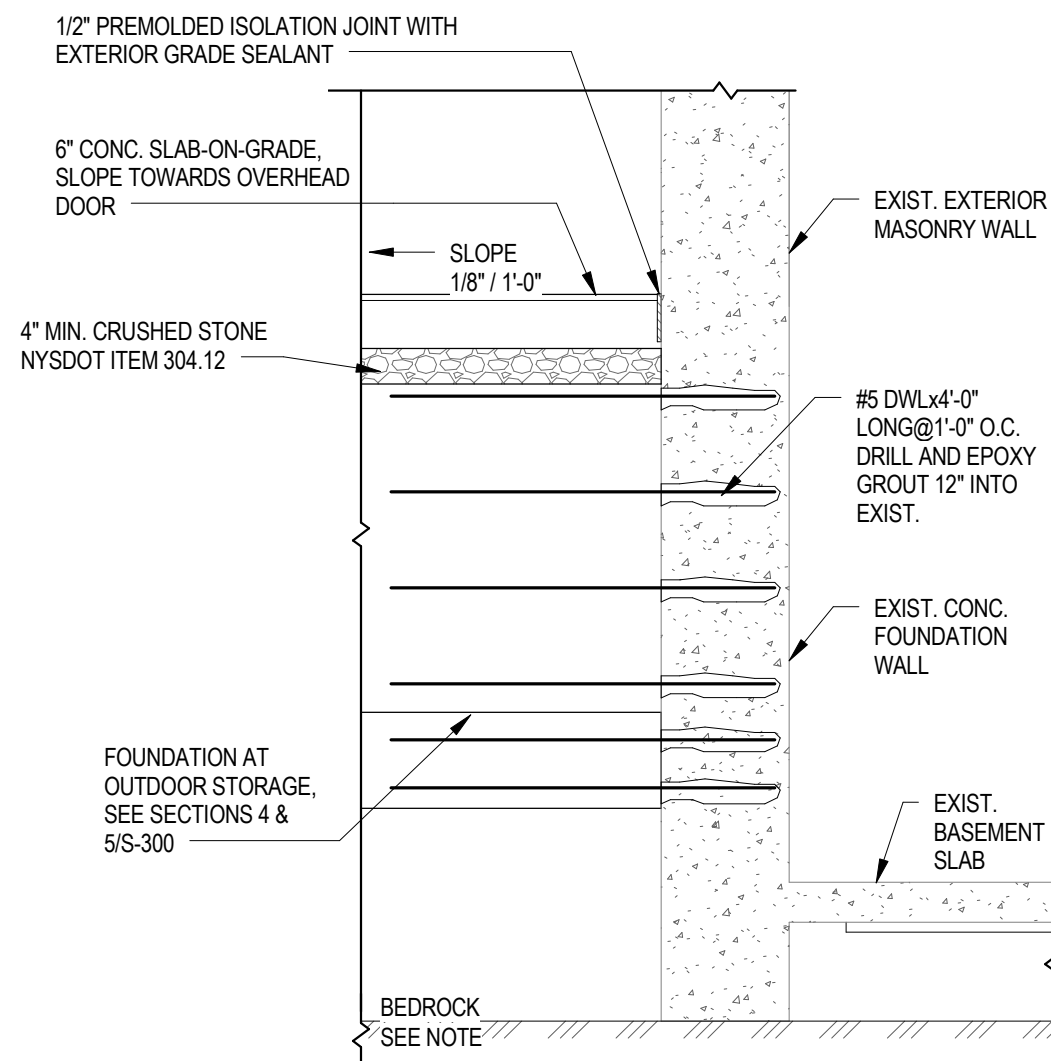
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FOUNDATION SECTIONS

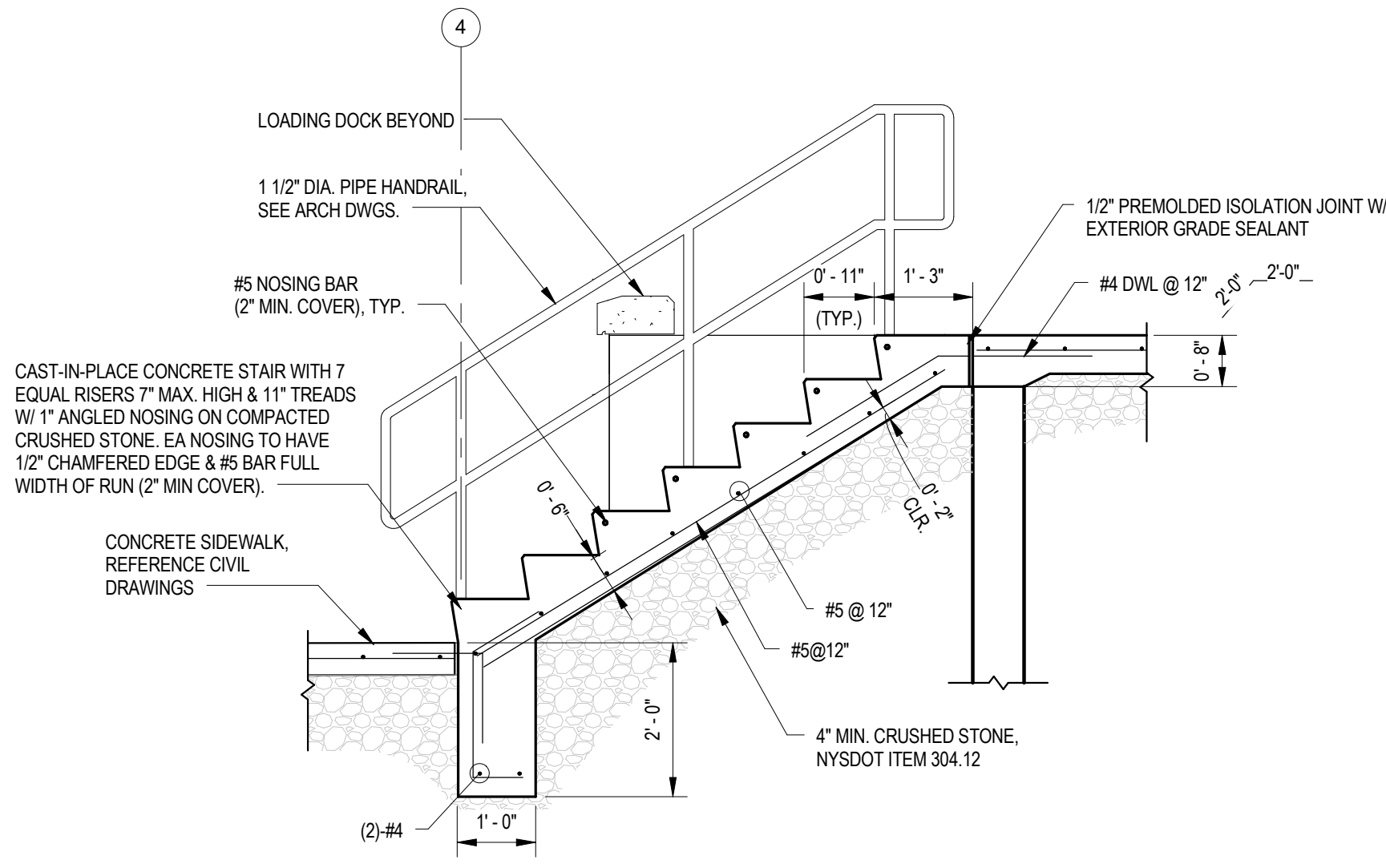
S-301

ISSUED FOR REVIEW

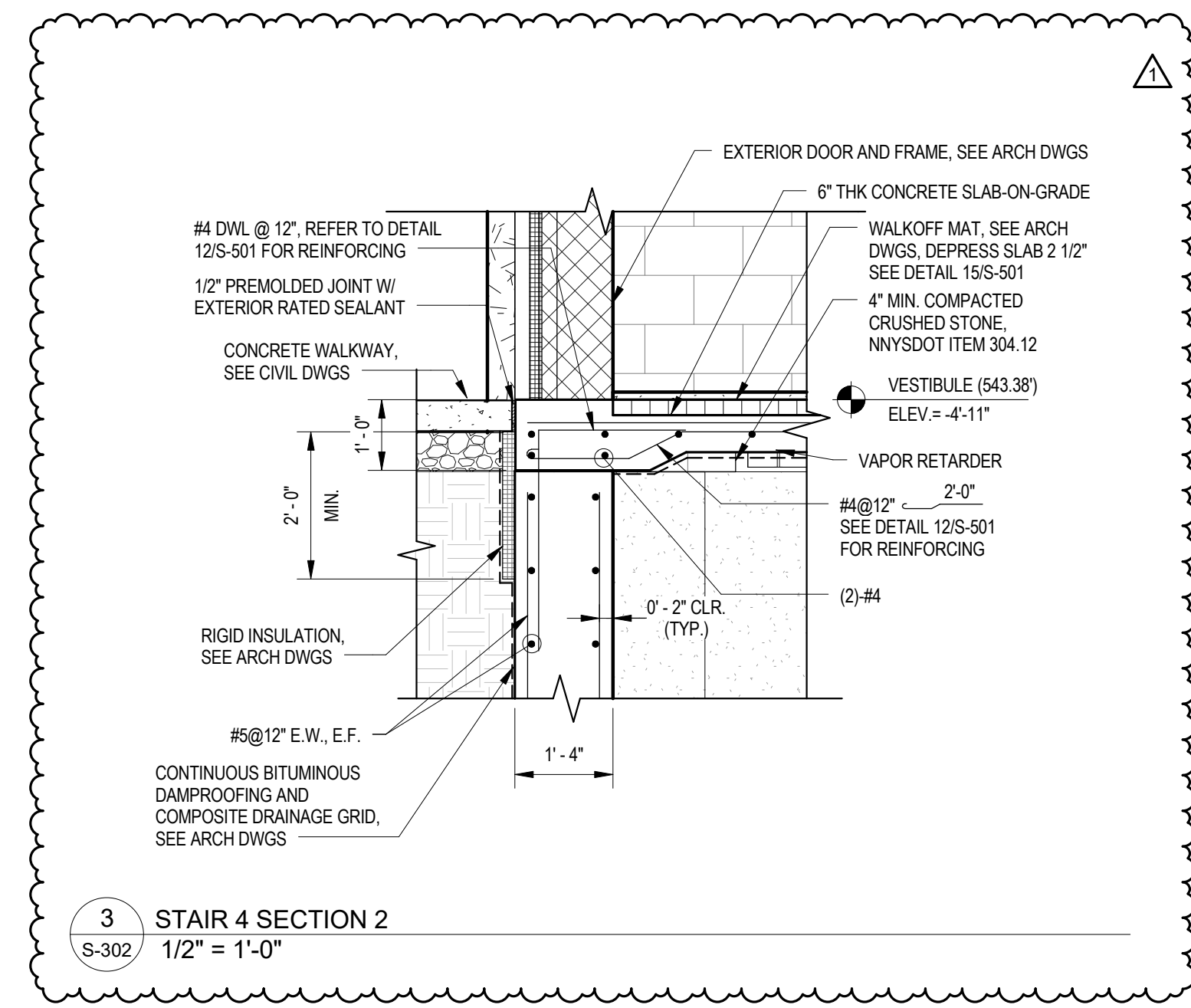


NOTE:
1. BEDROCK ELEVATION IS ASSUMED TO BE AT ELEVATION 537.00' ROCK SHALL BE REMOVED AS NEEDED TO ACHIEVE ELEVATIONS INDICATED.

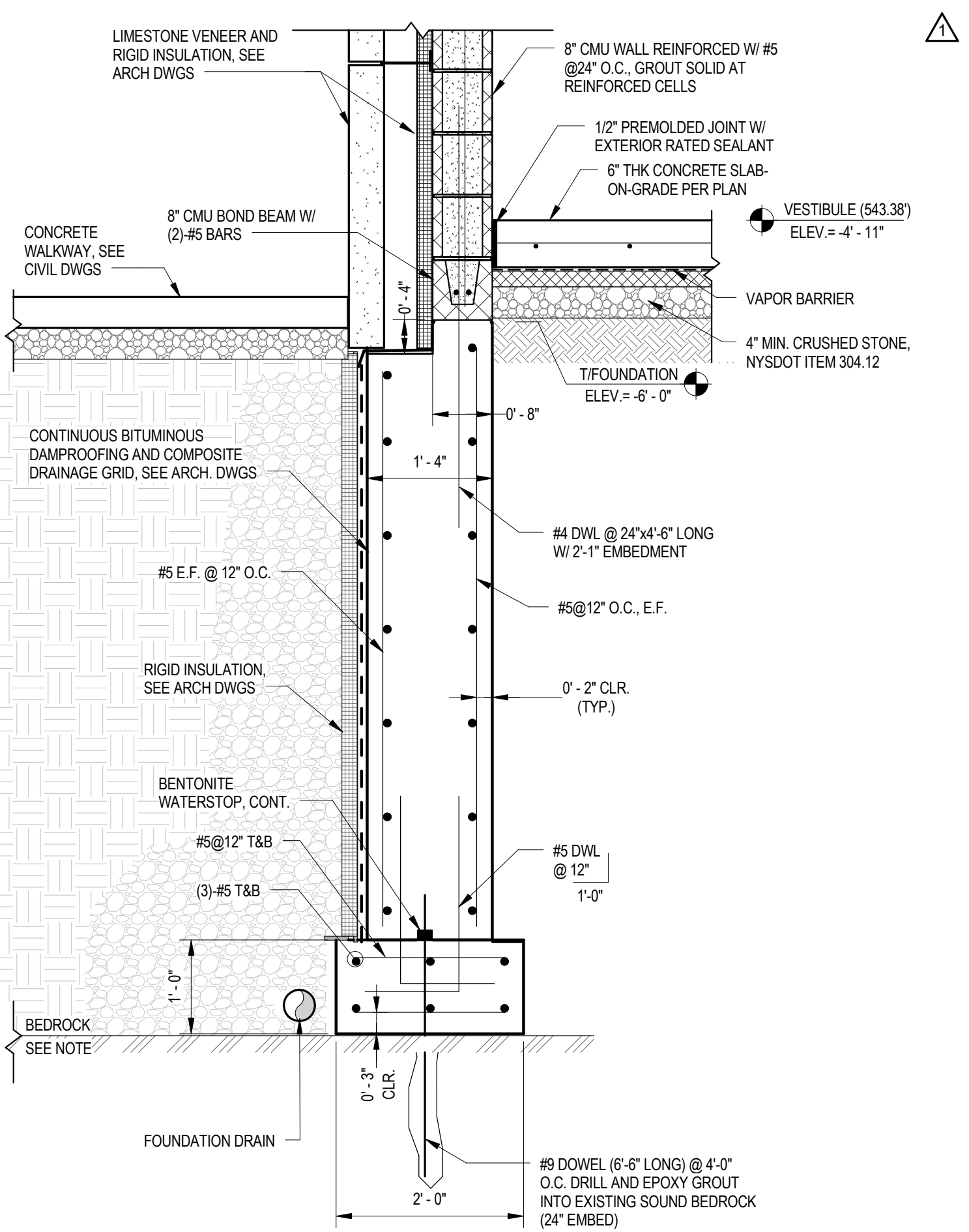
1 FOUNDATION SECTION AT OUTDOOR STORAGE
S-302 1/2" = 1'-0"



2 STAIR @ LOADING DOCK
S-302 1/2" = 1'-0"



3 STAIR 4 SECTION 2
S-302 1/2" = 1'-0"

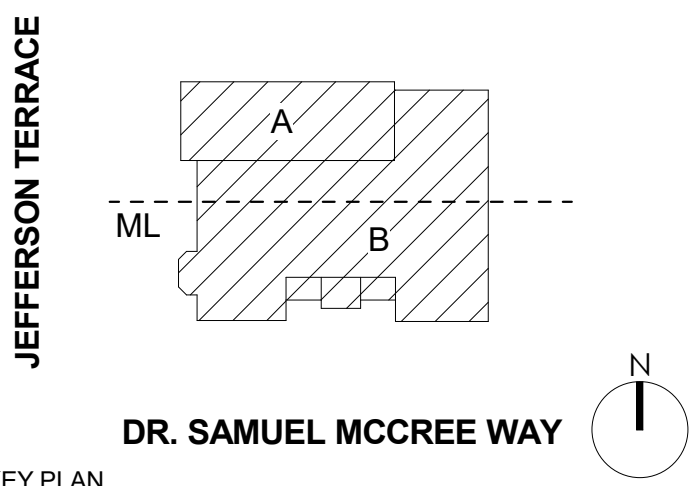


NOTE:
1. BEDROCK ELEVATION IS ASSUMED TO BE AT ELEVATION 537.00' ROCK SHALL BE REMOVED AS NEEDED TO ACHIEVE ELEVATIONS INDICATED.

4 FOUNDATION SECTION AT EXTERIOR
S-302 3/4" = 1'-0"



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REV. #	DESCRIPTION	DATE
1	ADDENDA #2	5/04/2018

JOB NO.	1711
SCALE	As indicated
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DRAWN BY	Author
CHECKED BY	Checker

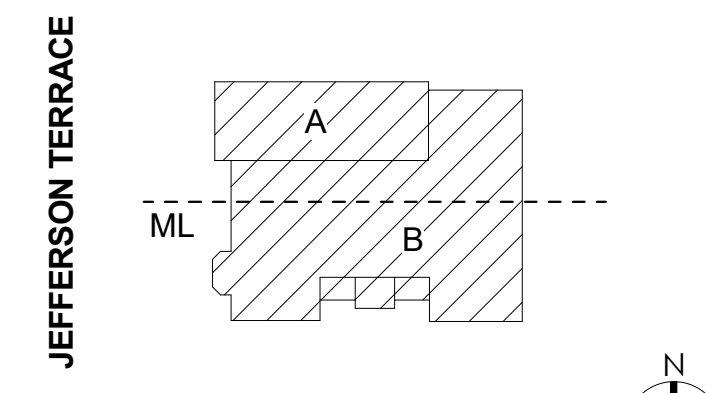
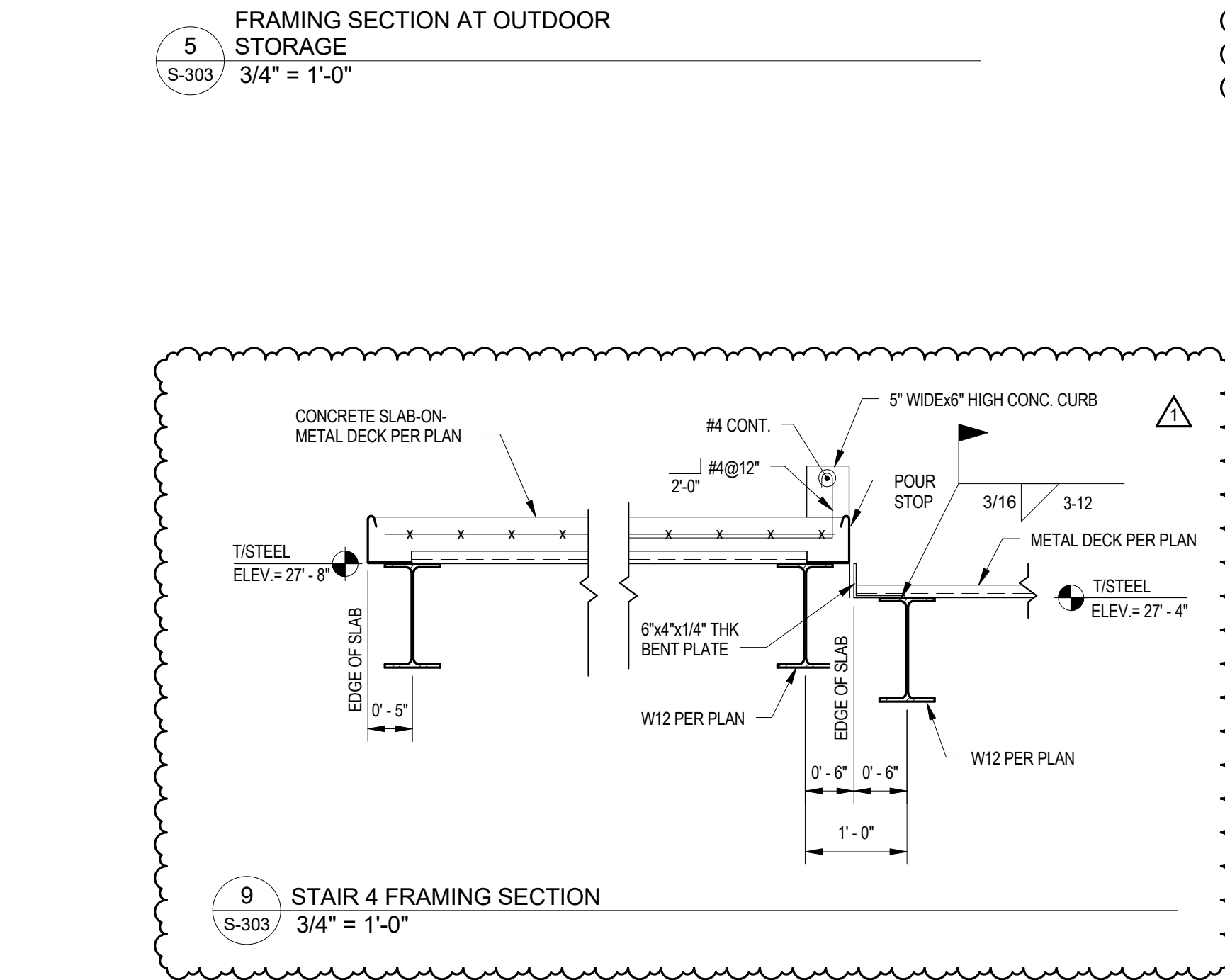
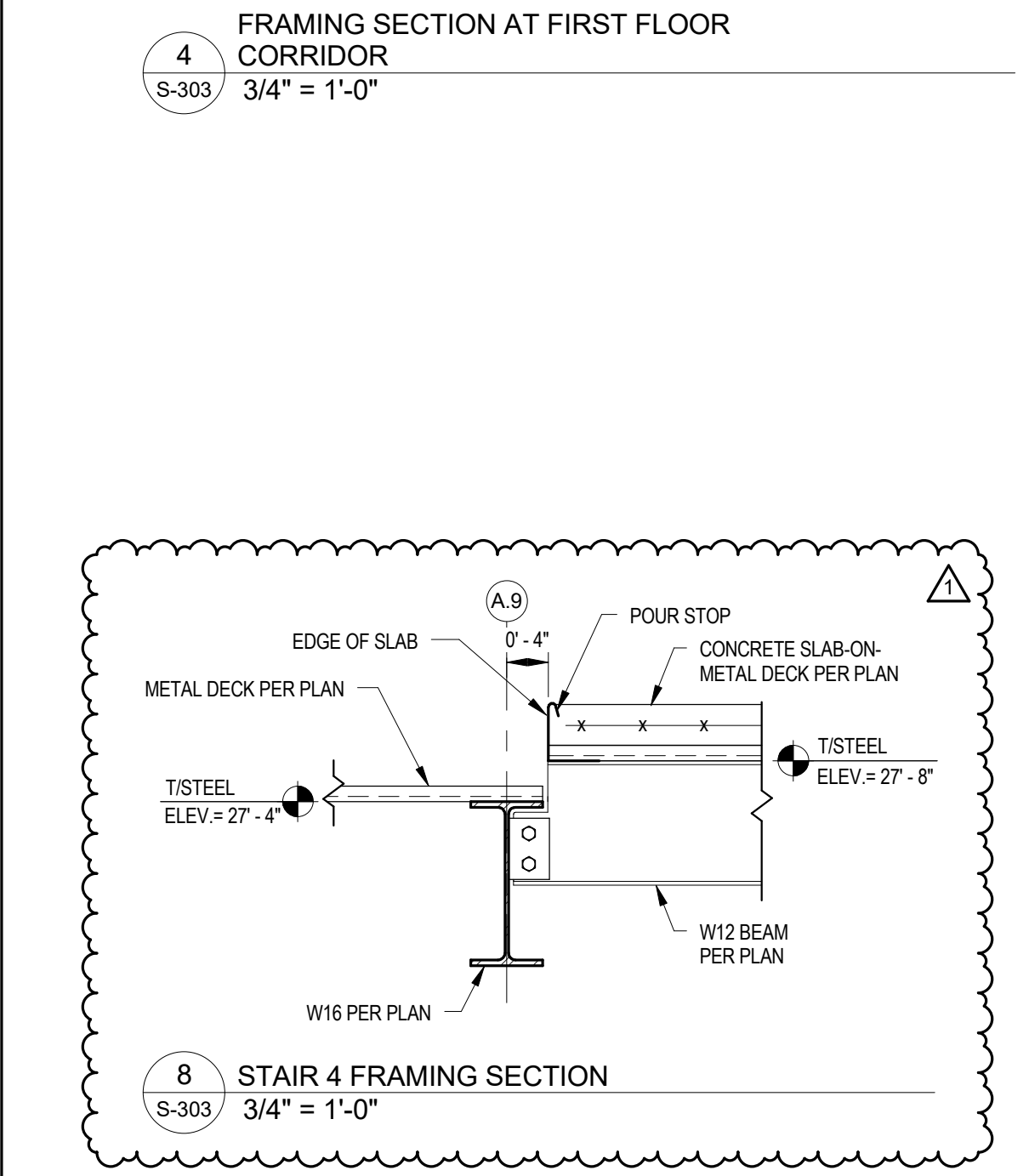
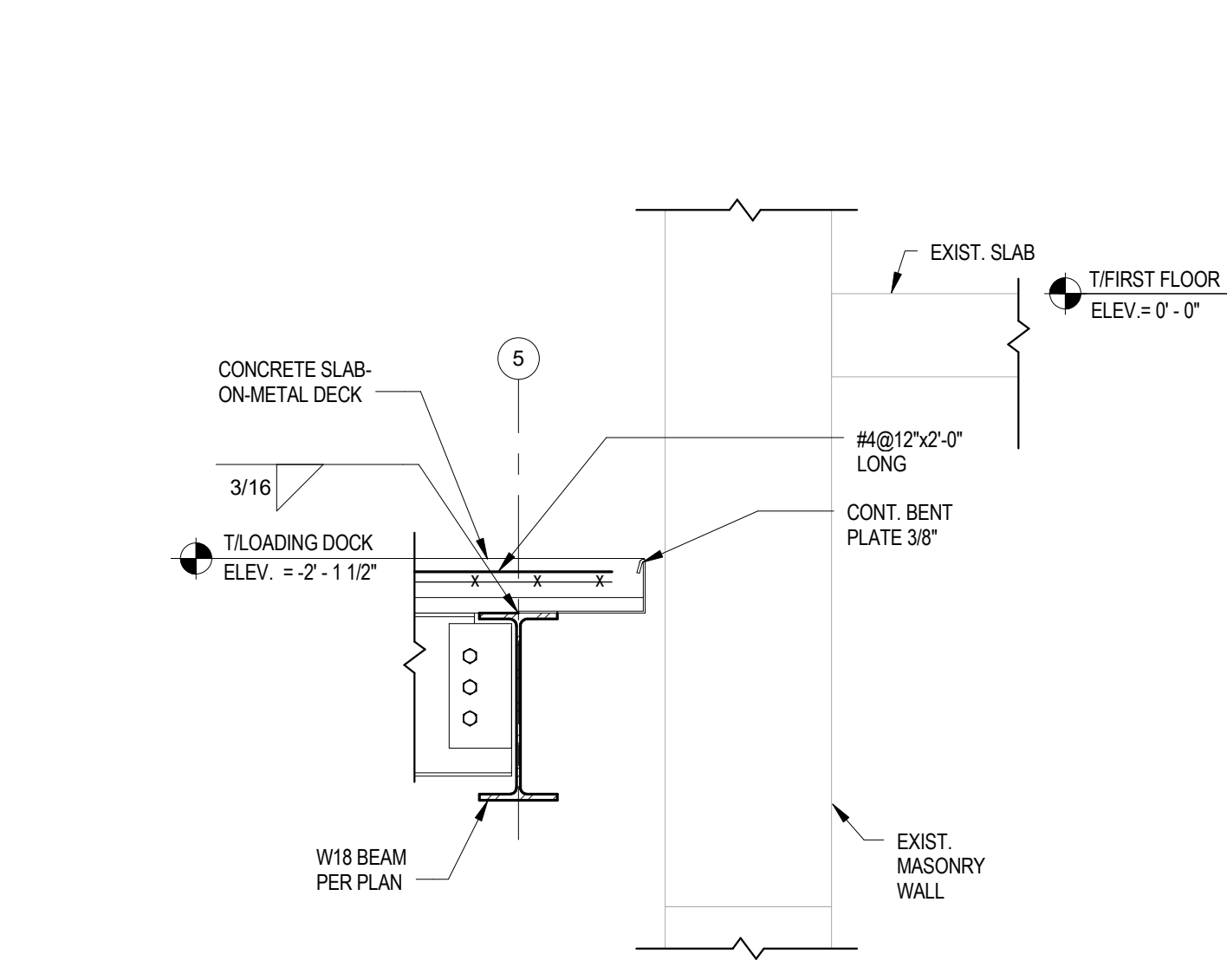
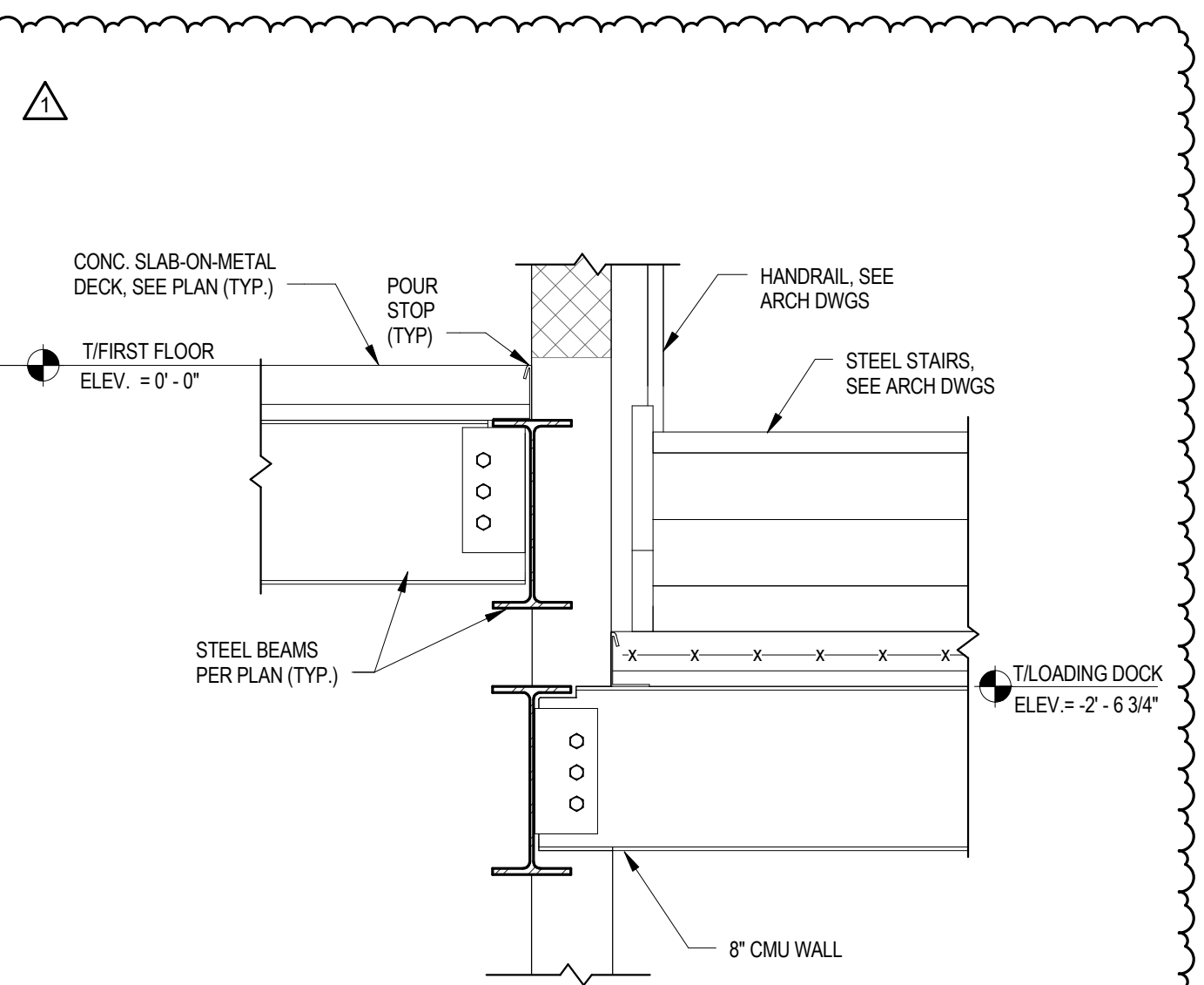
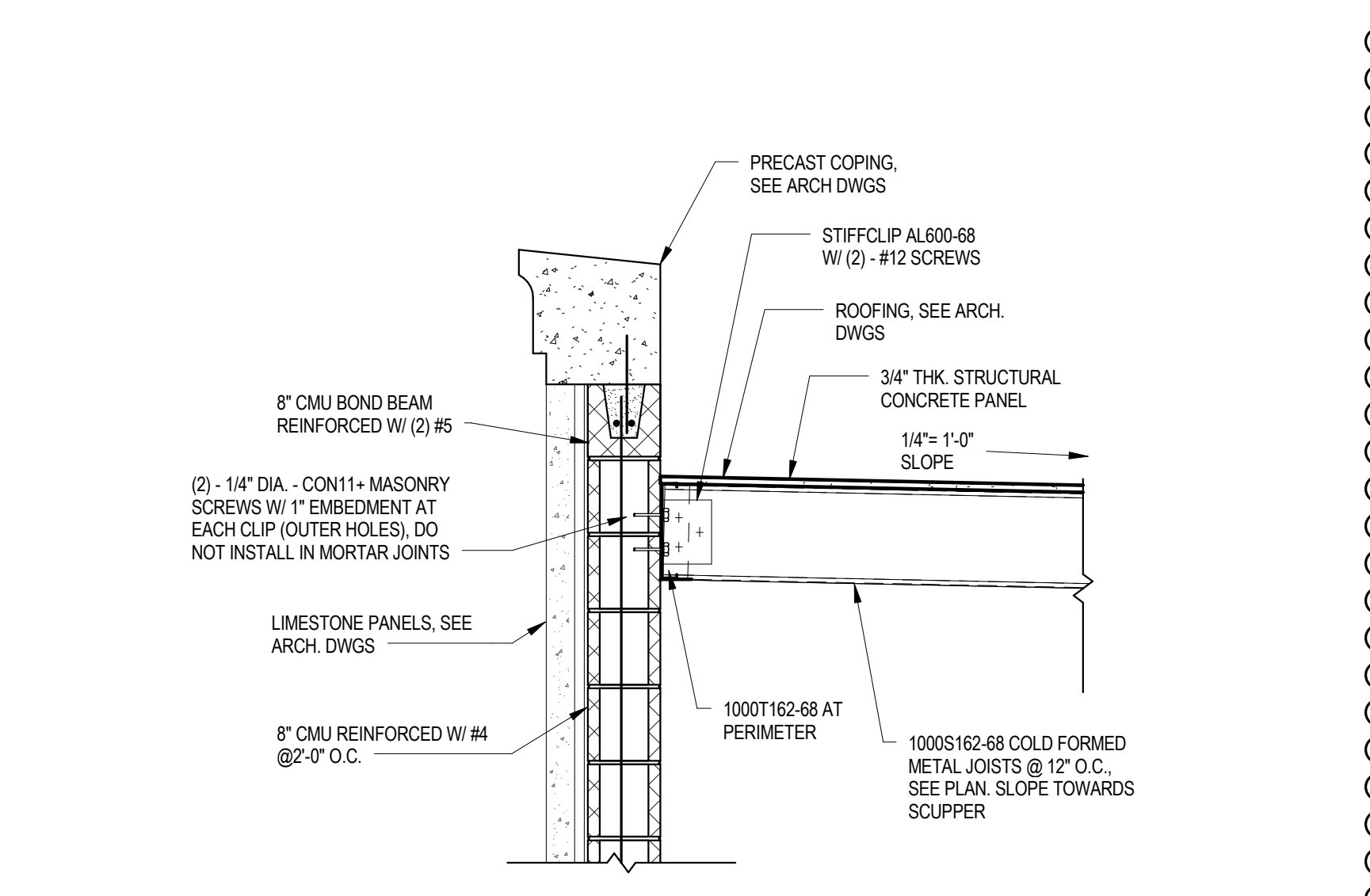
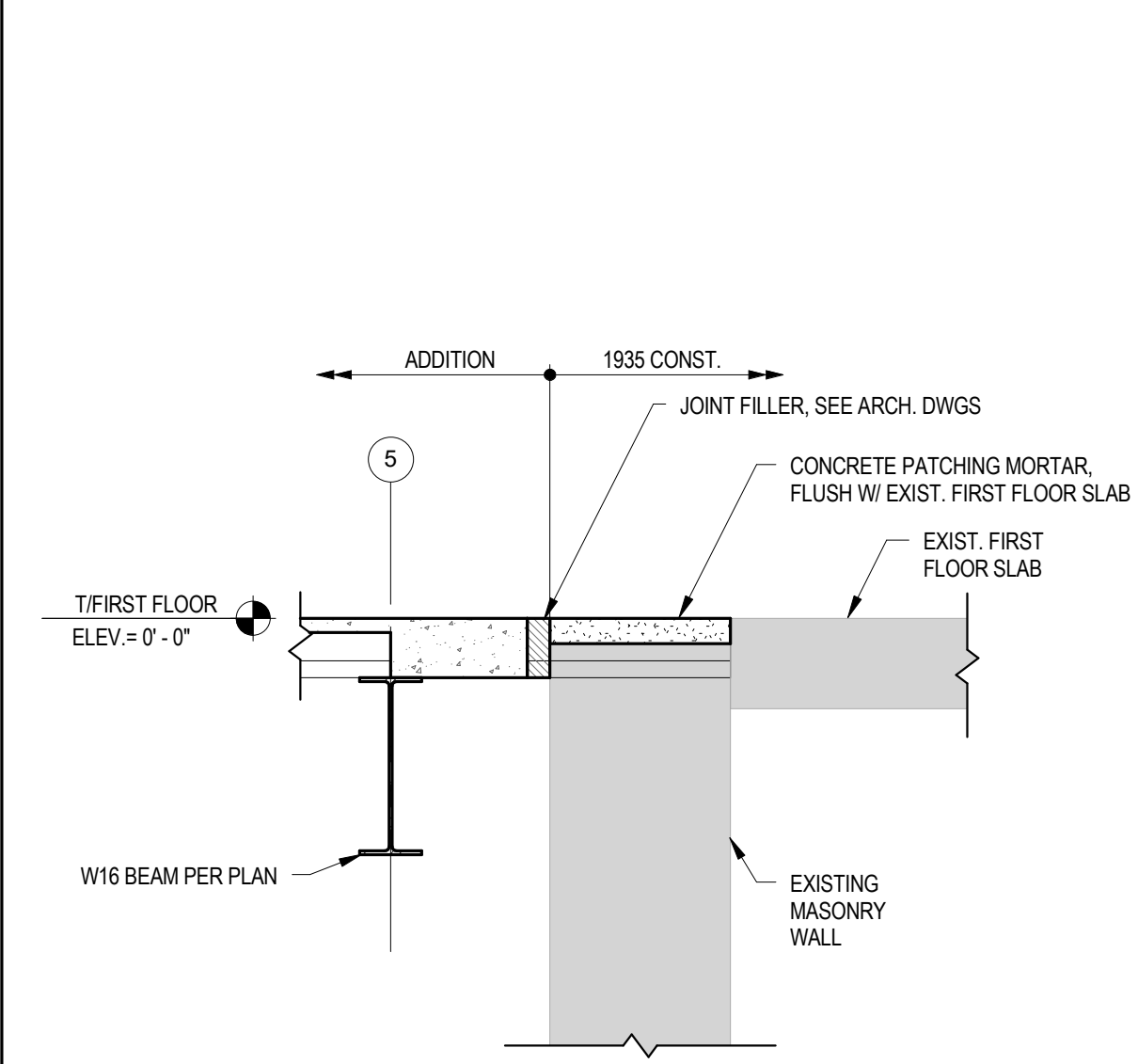
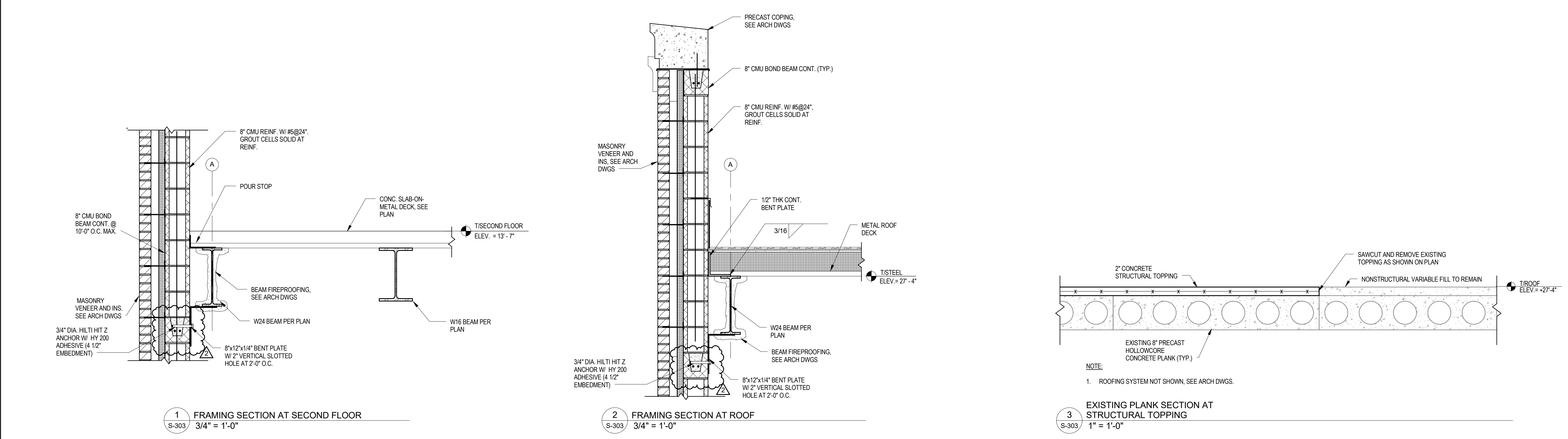
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FOUNDATION SECTIONS

S-302

ISSUED FOR REVIEW



DR. SAMUEL MCCREE WAY

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DWT SED # 26-16-00-01-7-999-020

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2	ADDENDA #2	5/04/2018

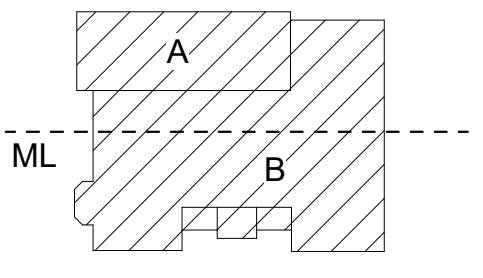
JOB NO.	1711
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ISSUE DATE	4/9/18
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FRAMING SECTIONS

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

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SCALE	3/4" = 1'-0"
ISSUE DATE	4/9/18
DRAWN BY	SNP
CHECKED BY	MNW

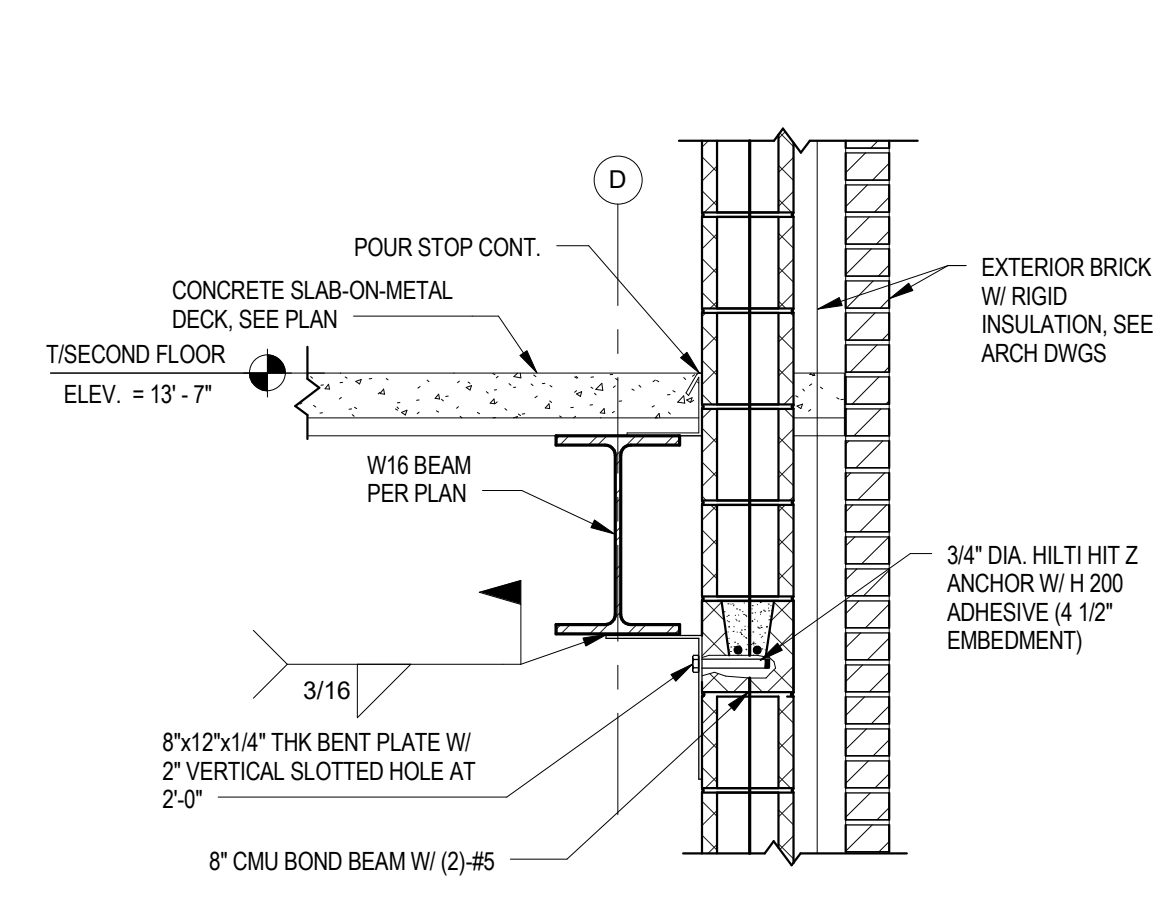
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DRAWING TITLE

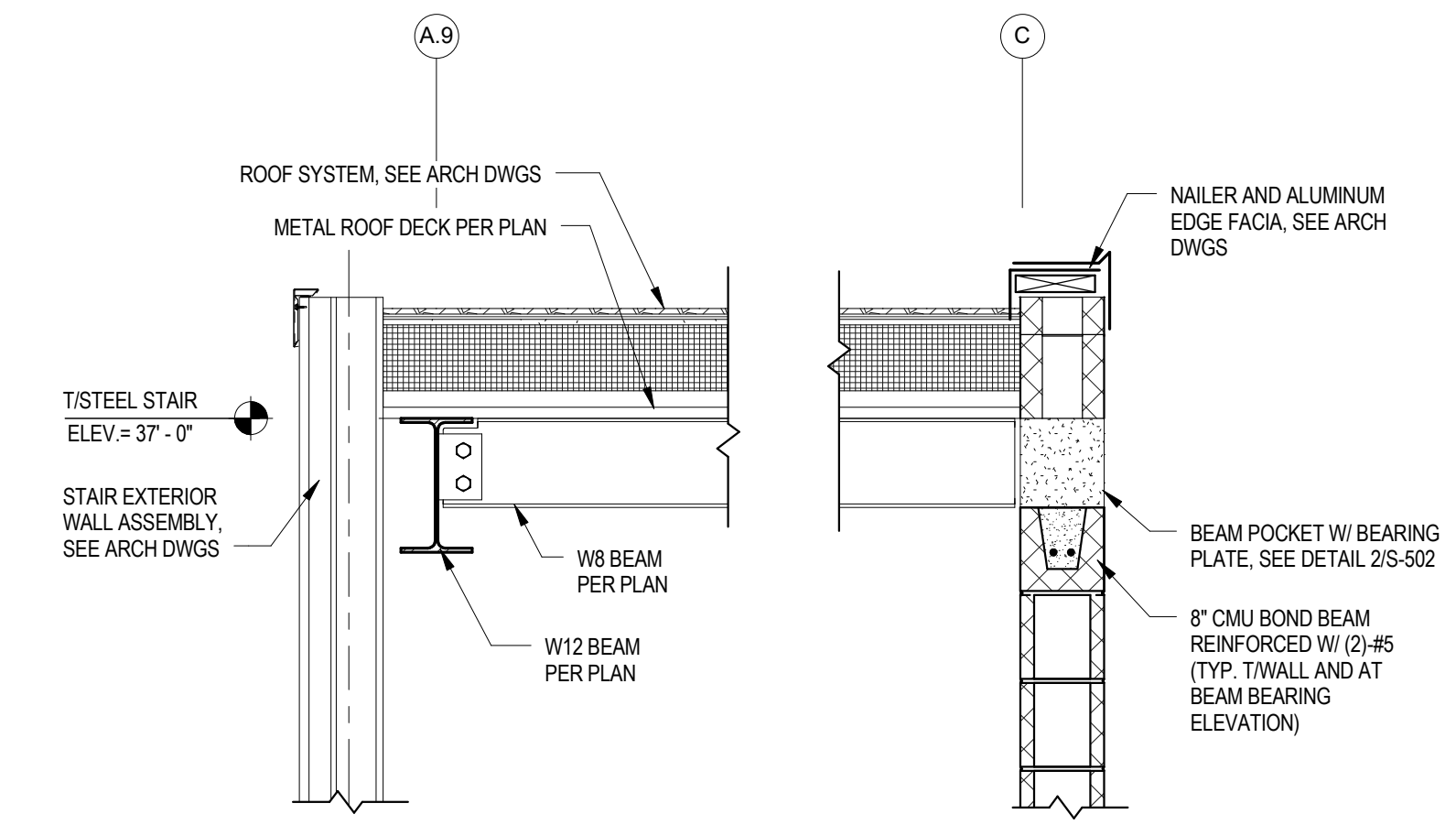
FRAMING SECTIONS

S-304

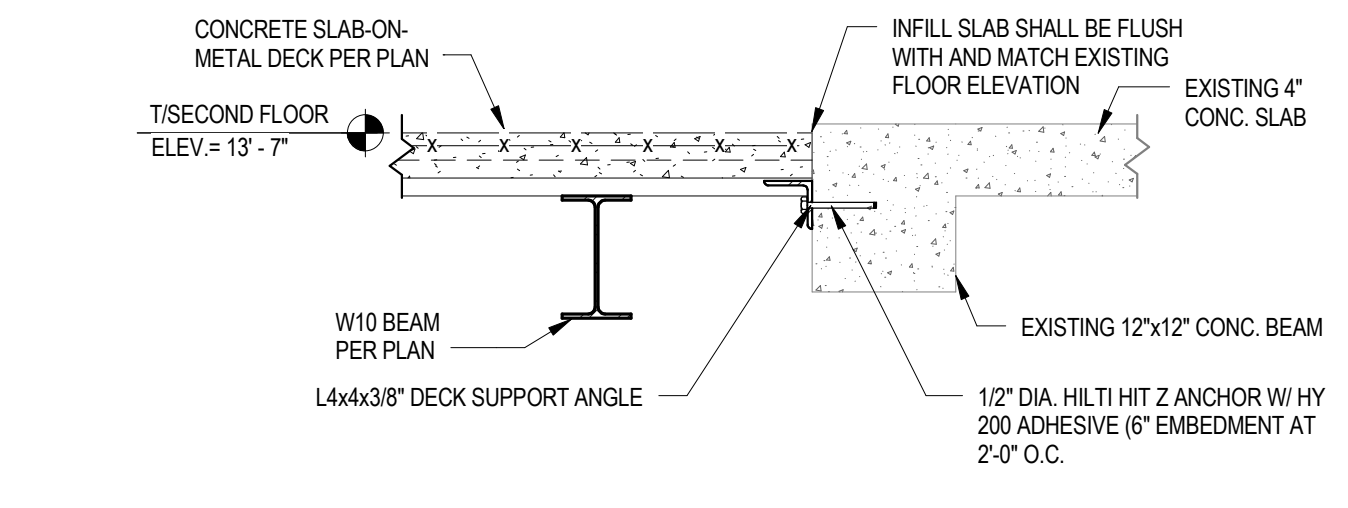
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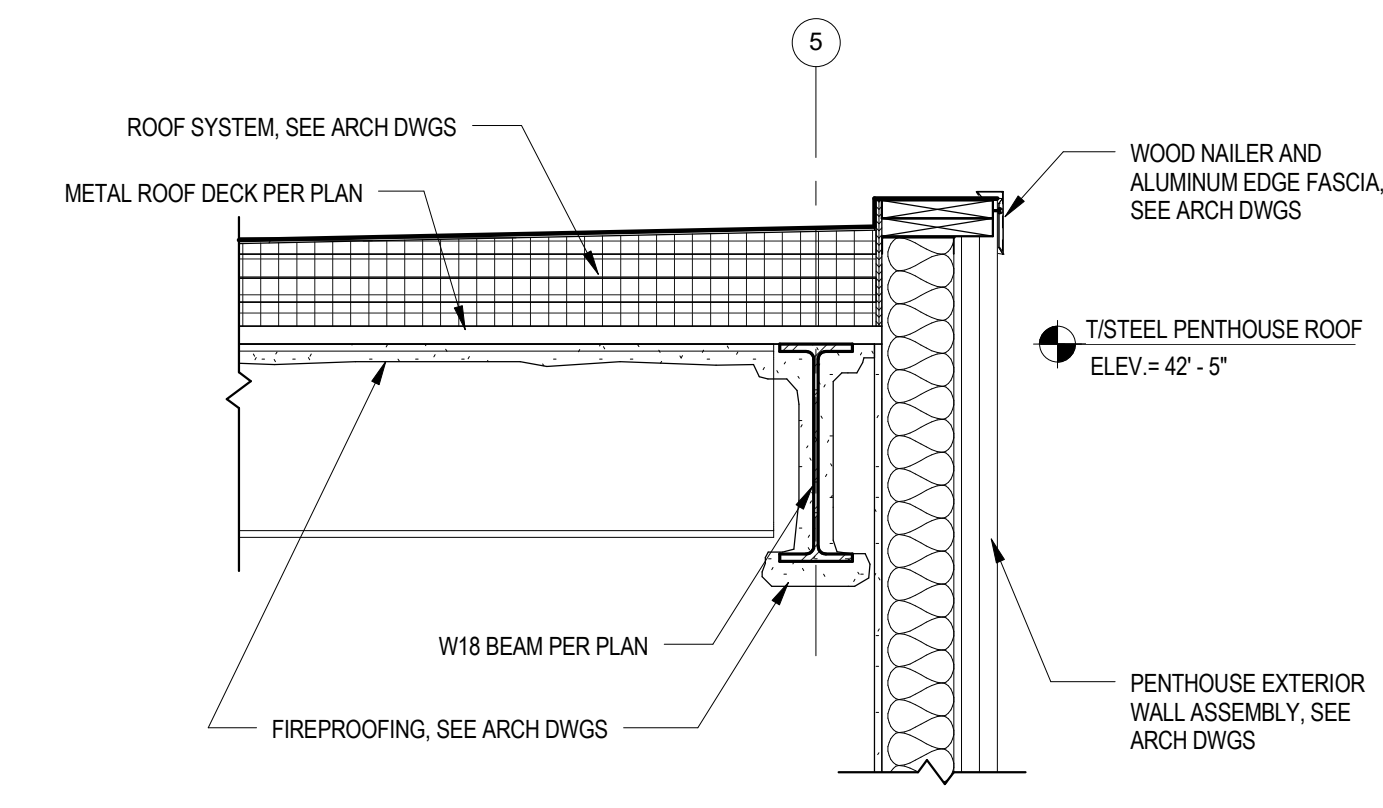
1 FRAMING SECTION AT SECOND FLOOR
S-304 3/4" = 1'-0"



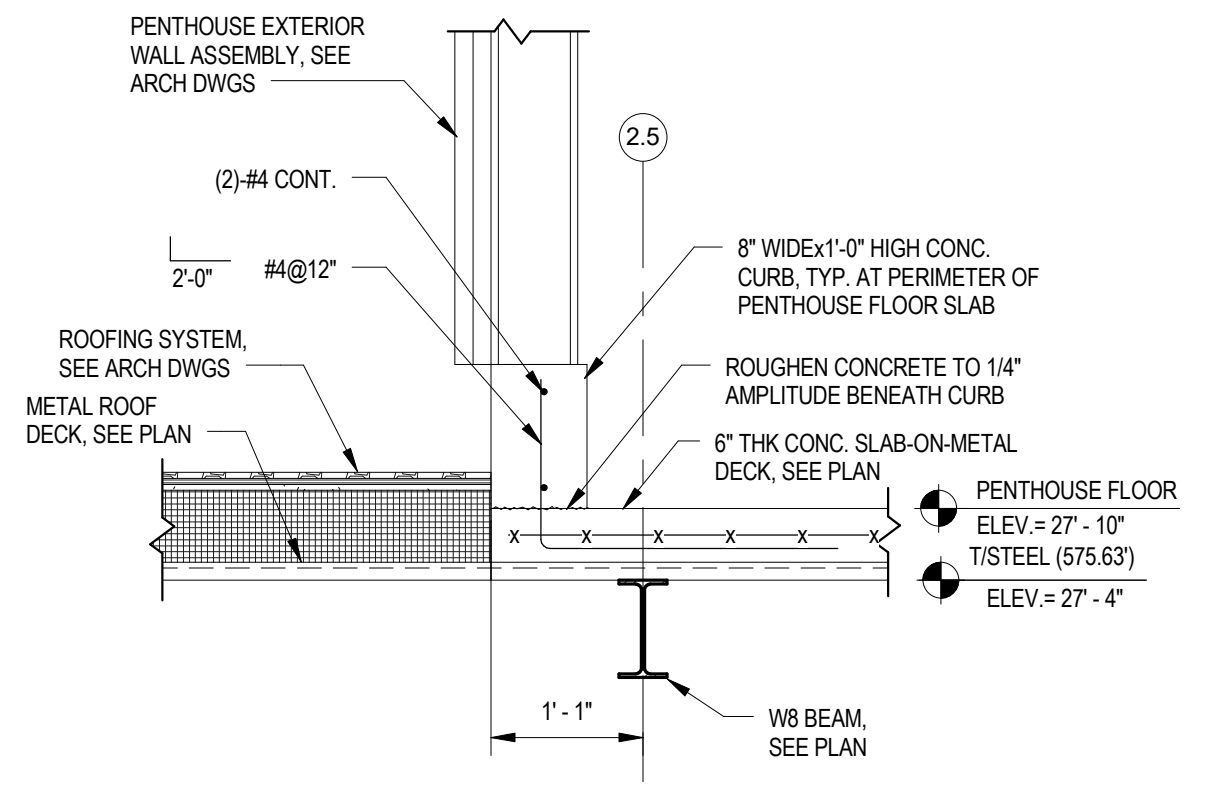
2 FRAMING SECTION AT STAIR 4 ROOF
S-304 3/4" = 1'-0"



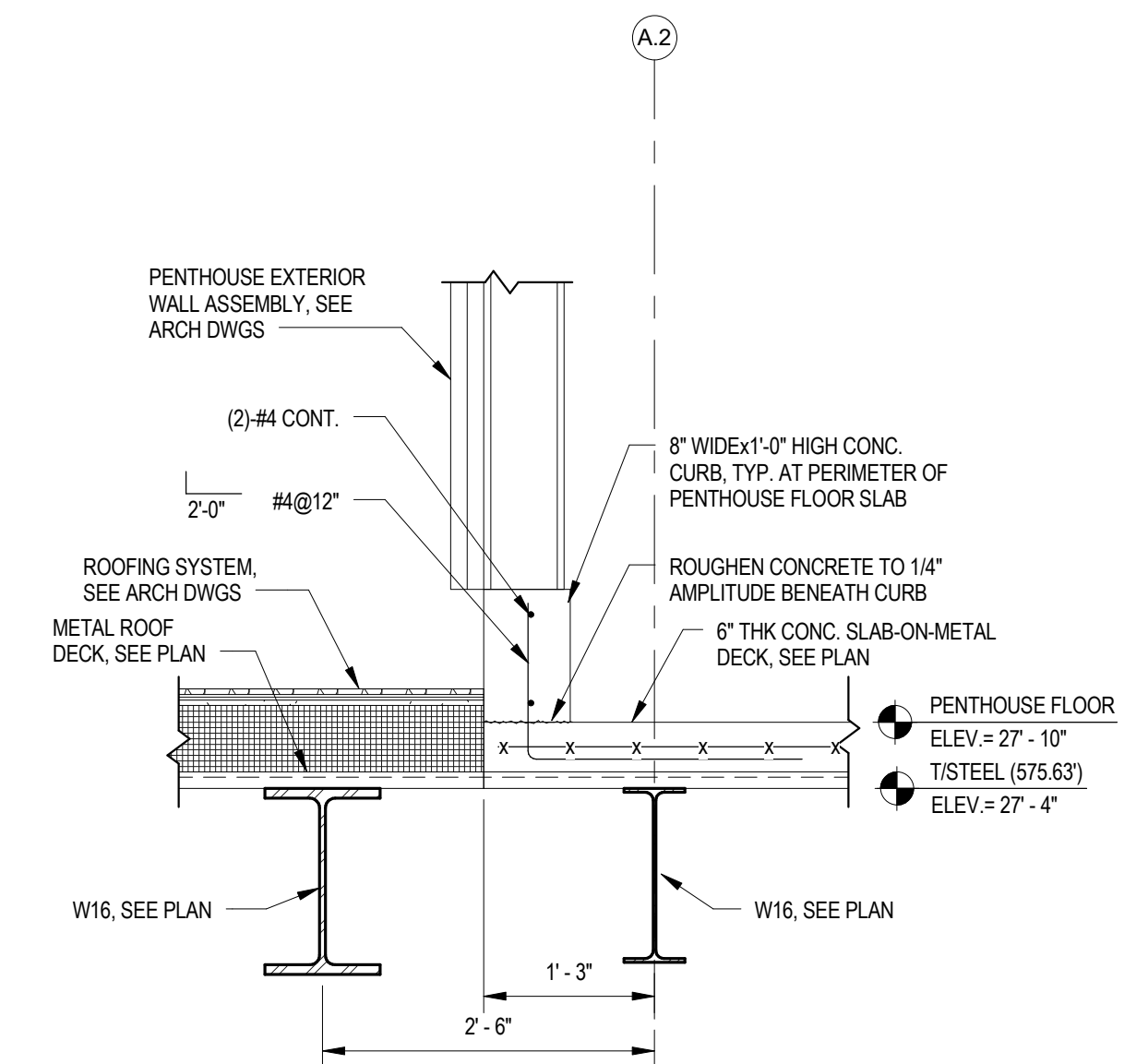
3 FRAMING SECTION AT EXISTING STAIR INFILL
S-304 3/4" = 1'-0"



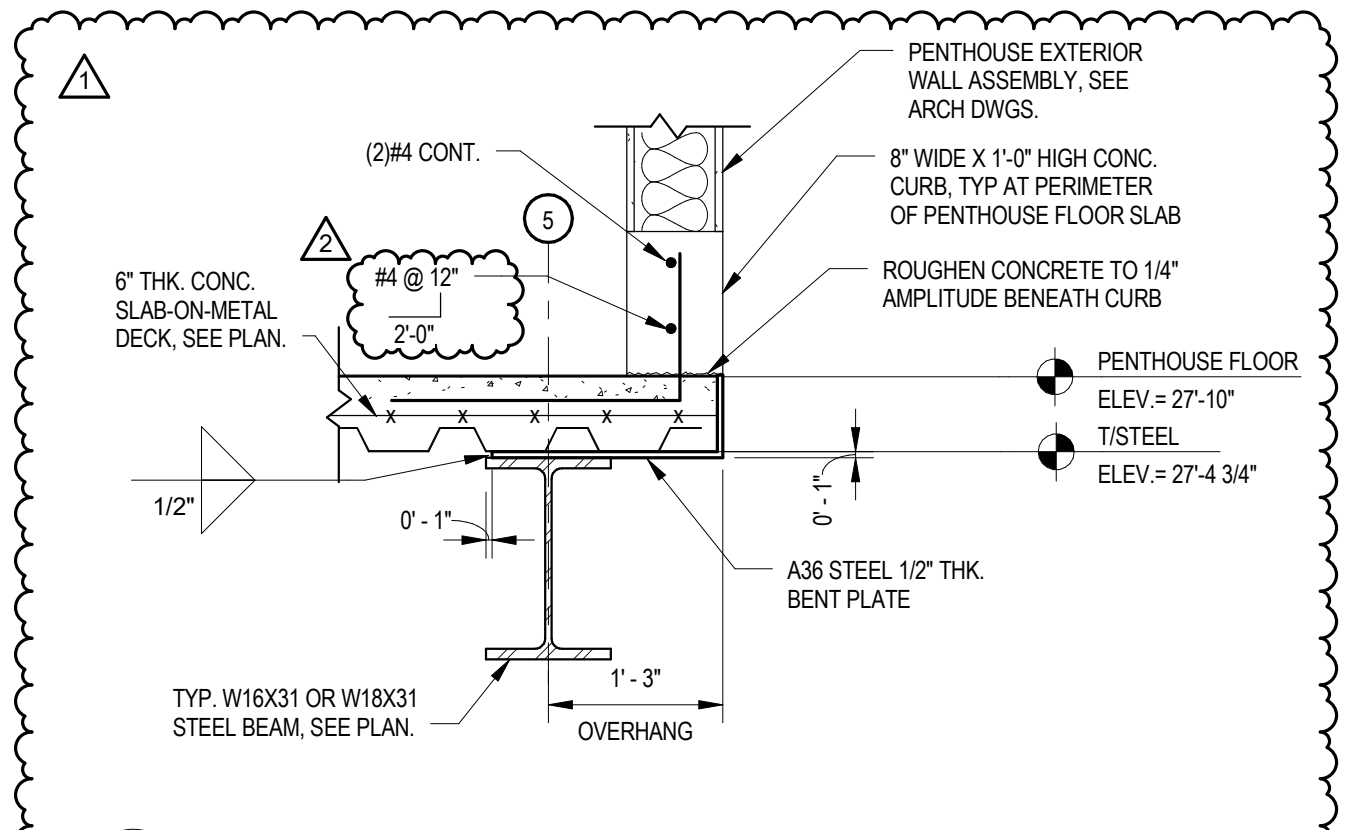
4 FRAMING SECTION AT PENTHOUSE ROOF
S-304 3/4" = 1'-0"



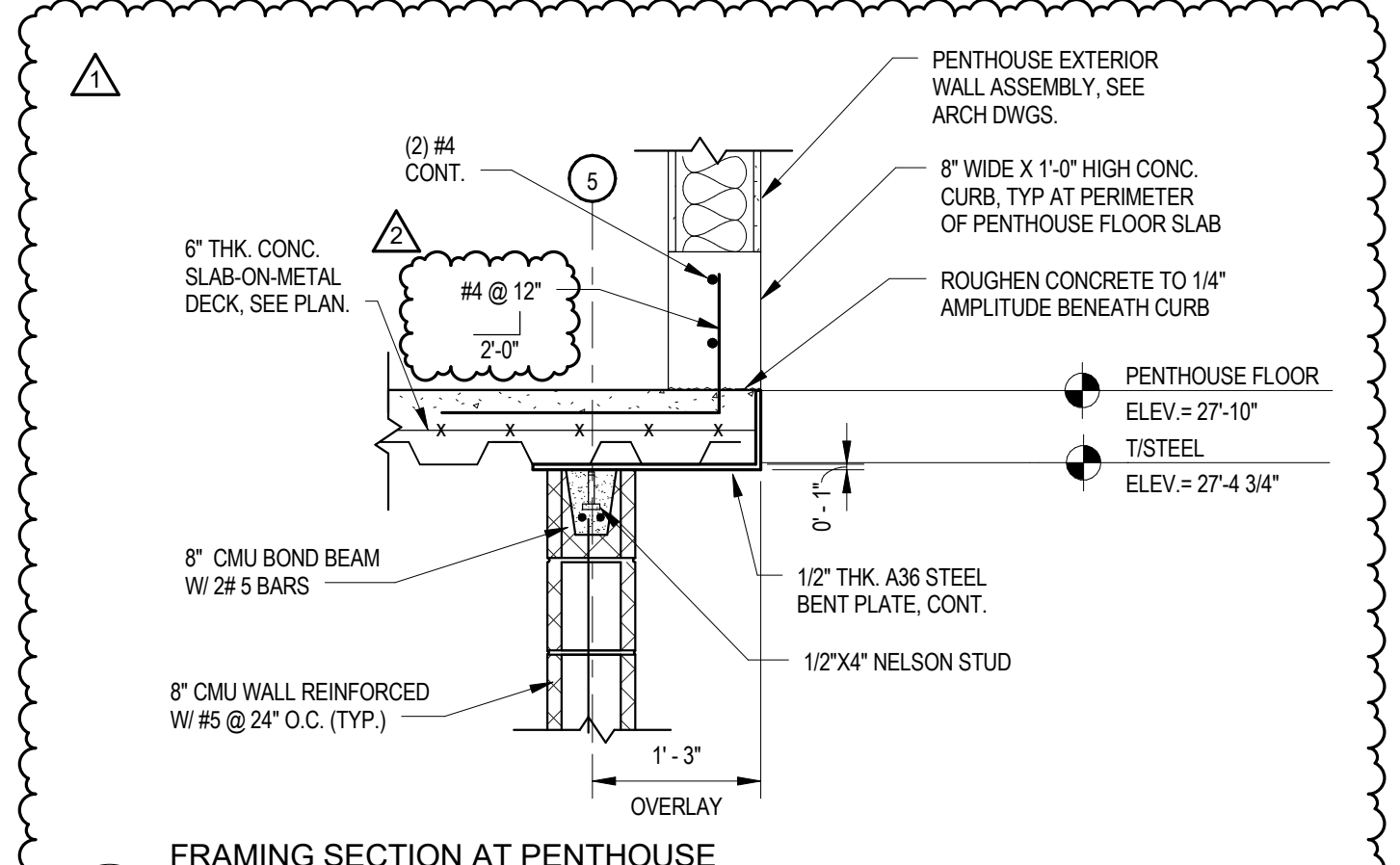
5 FRAMING SECTION AT PENTHOUSE FLOOR
S-304 3/4" = 1'-0"



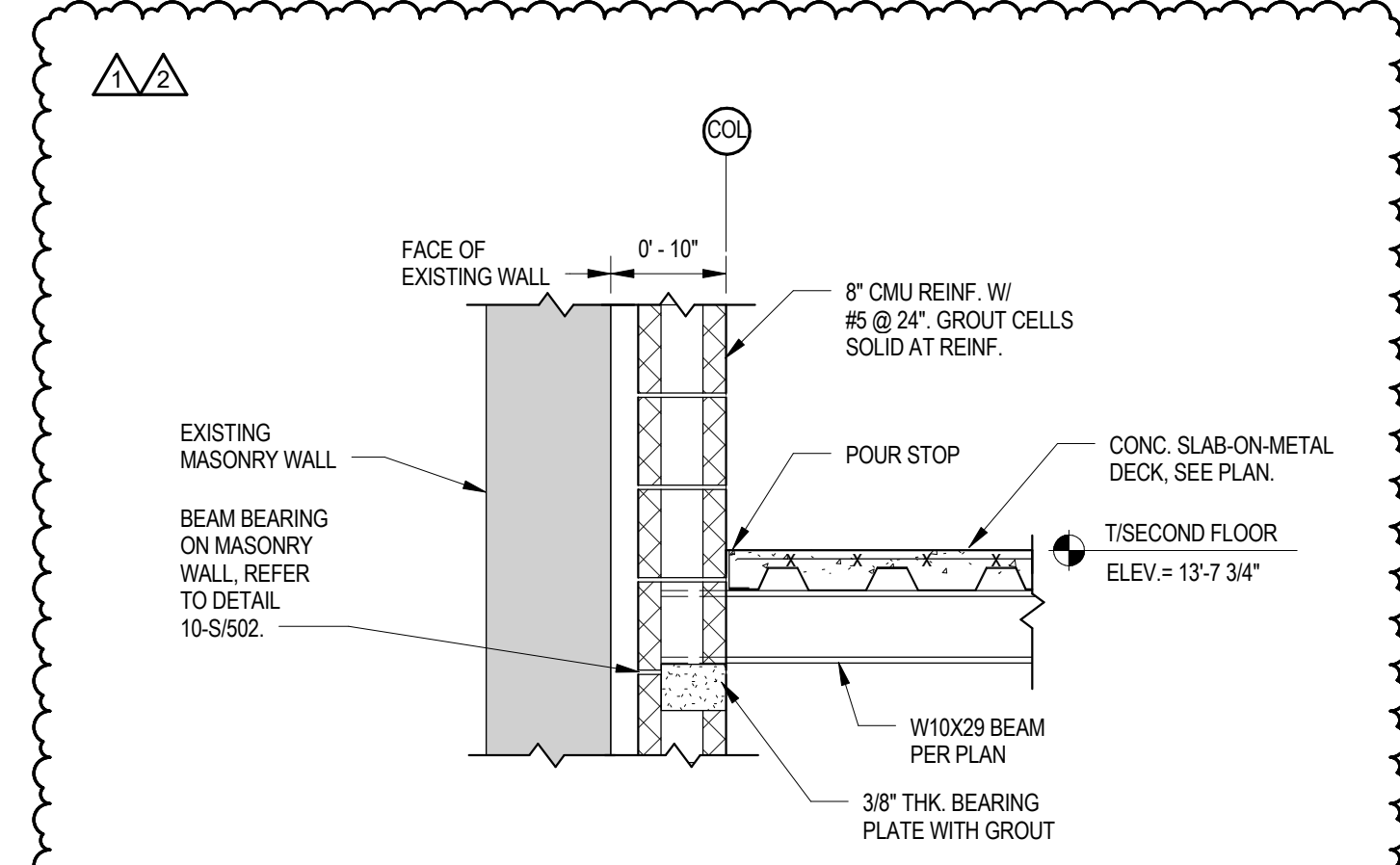
6 FRAMING SECTION AT PENTHOUSE FLOOR
S-304 3/4" = 1'-0"



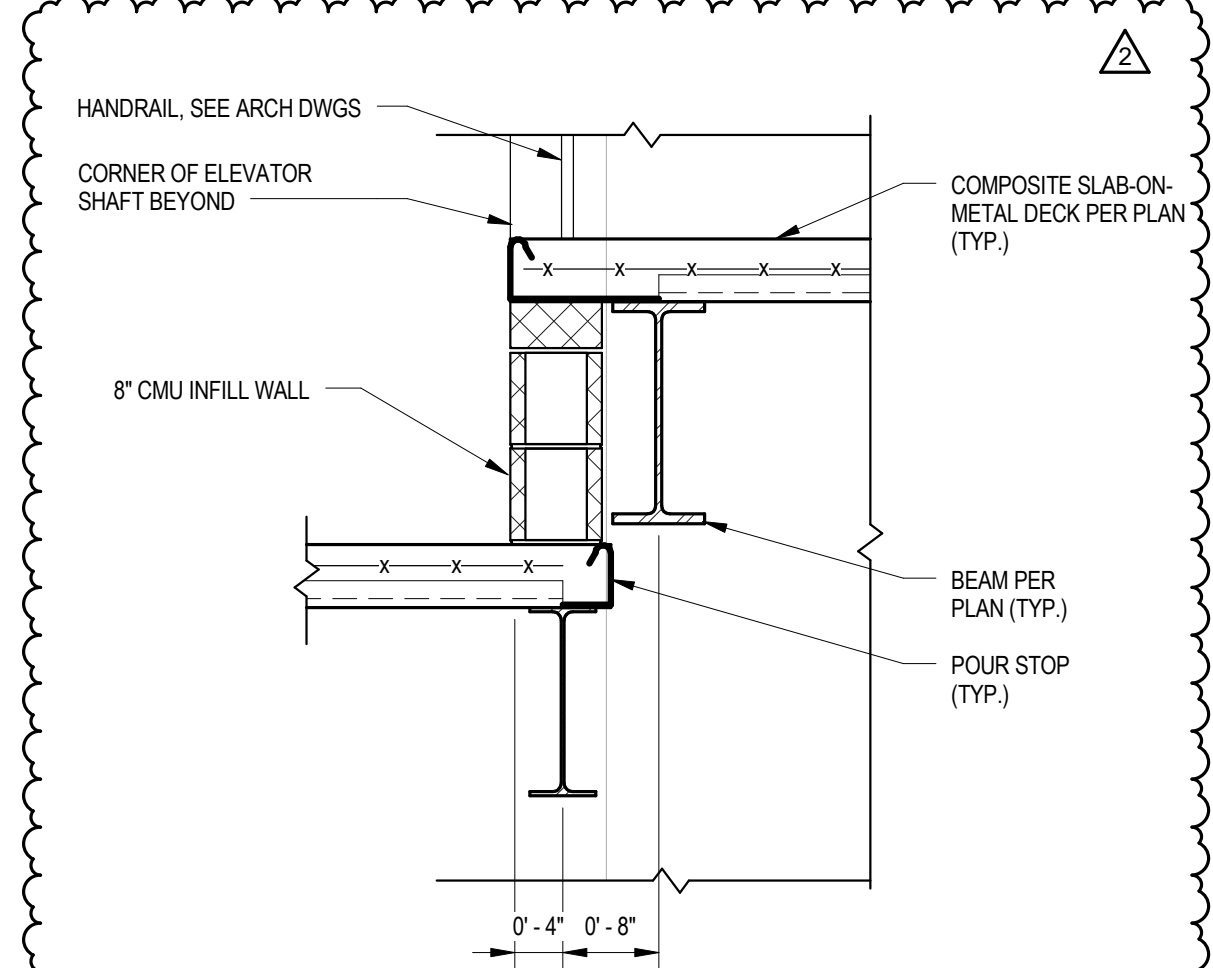
7 FRAMING SECTION AT PENTHOUSE
S-304 3/4" = 1'-0"



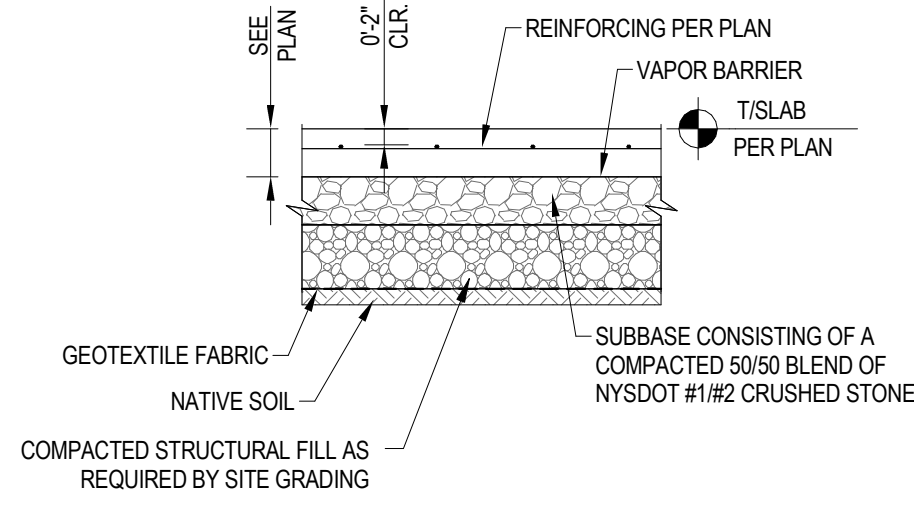
8 FRAMING SECTION AT PENTHOUSE FLOOR
S-304 3/4" = 1'-0"



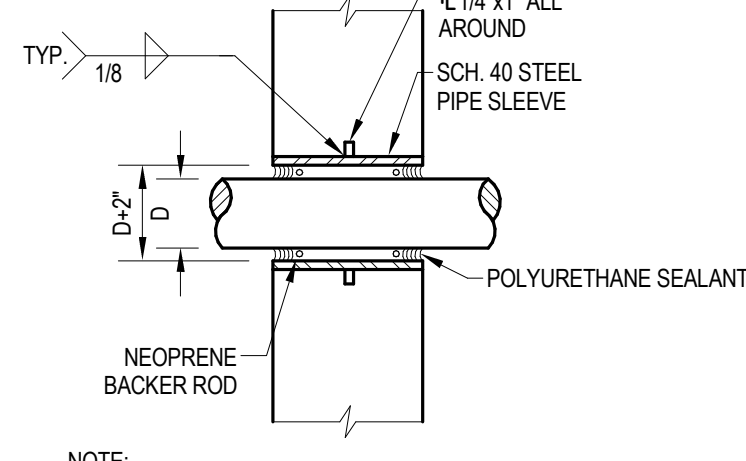
9 FRAMING SECTION AT SECOND FLOOR
S-304 3/4" = 1'-0"



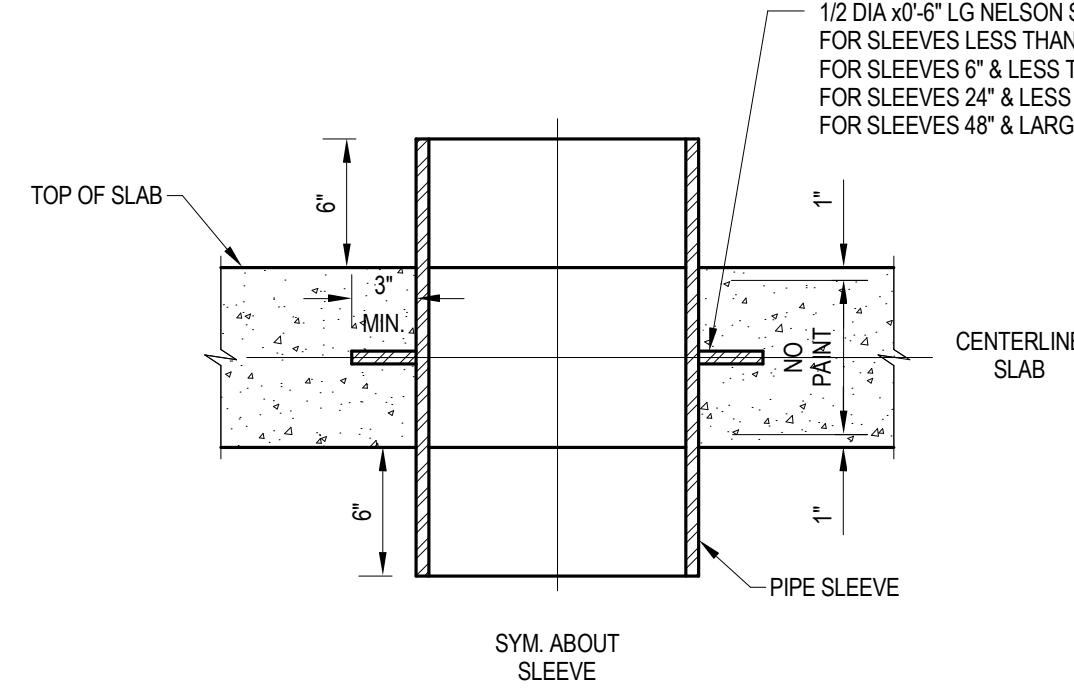
10 FRAMING SECTION @ LOADING DOCK
S-304 3/4" = 1'-0"



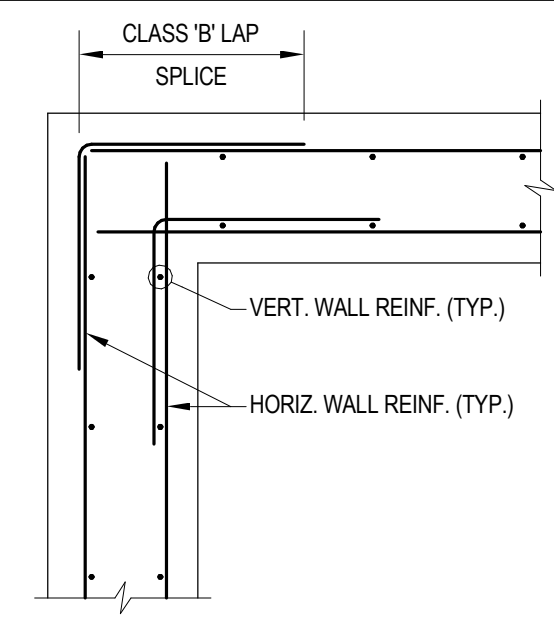
1 TYP. CONCRETE SLAB-ON-GRADE
S-500 / 1/2" = 1'-0"



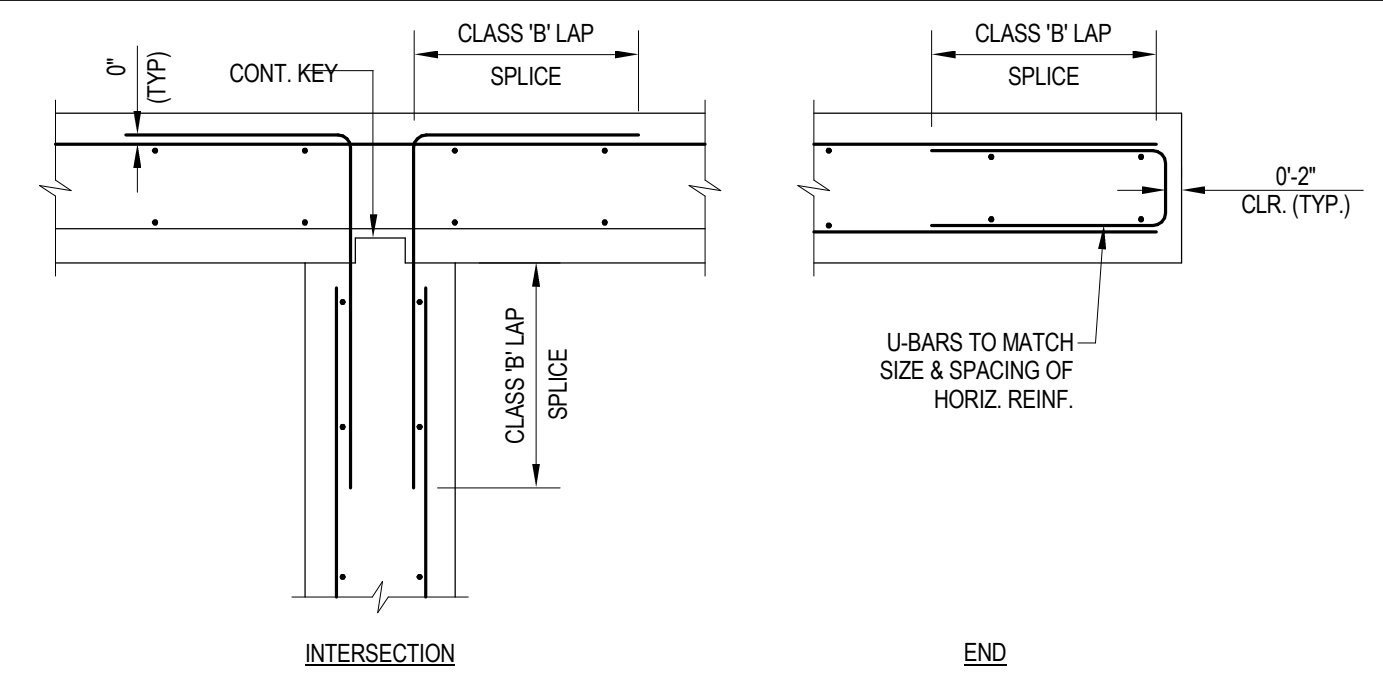
2 TYP. FND/WALL SLEEVE
S-500 / 1/2" = 1'-0"



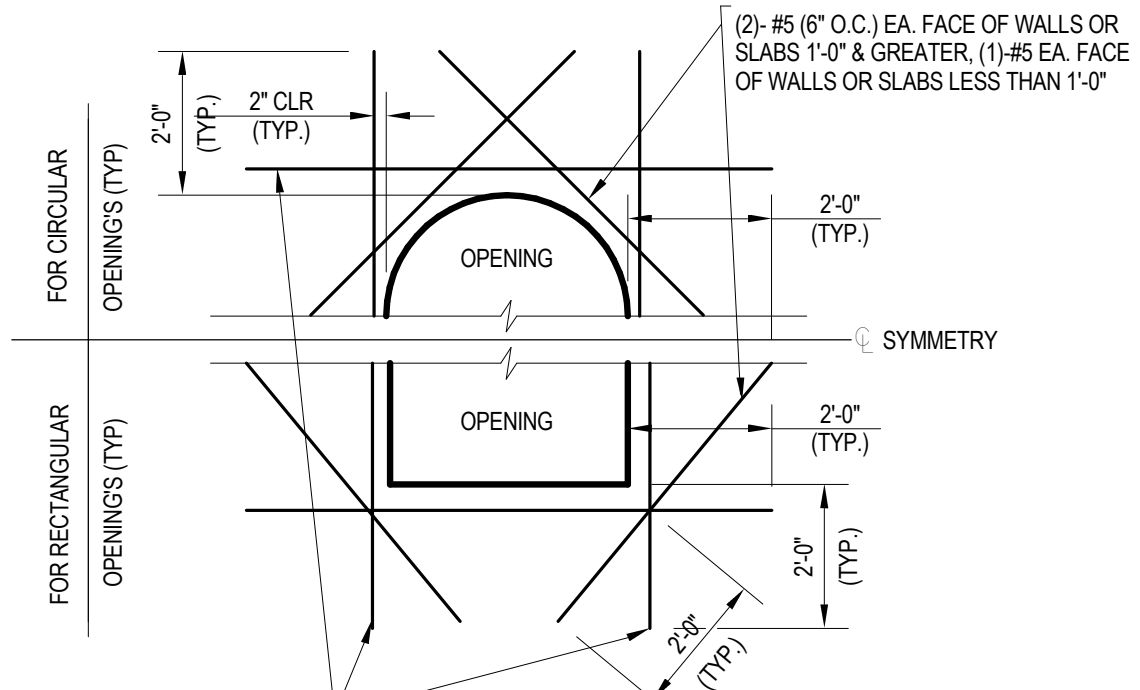
3 TYP. PIPE SLEEVE THRU SLAB
S-500 / 1/2" = 1'-0"



4 TYP. HORIZONTAL WALL REINF.
S-500 / 1/2" = 1'-0"



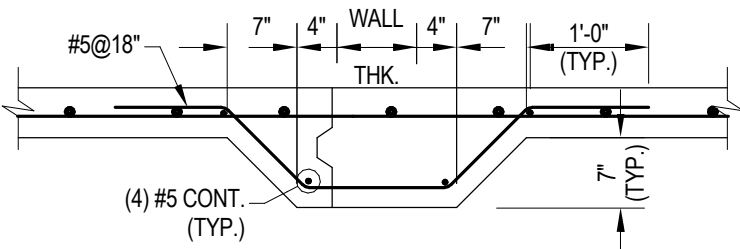
4 TYP. HORIZONTAL WALL REINF.
S-500 / 1/2" = 1'-0"



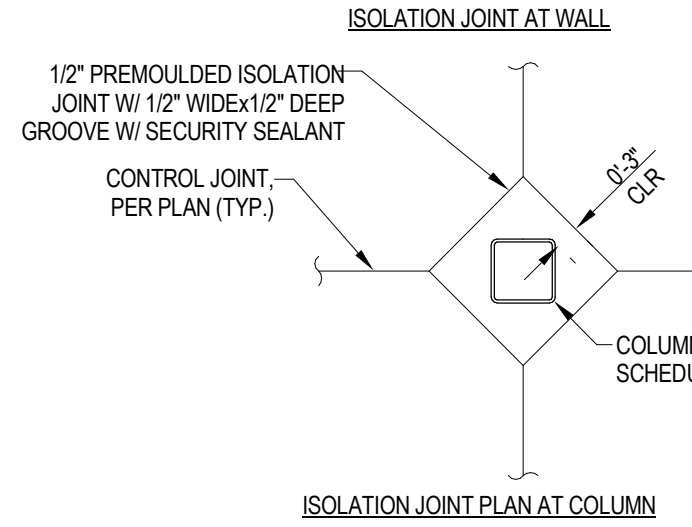
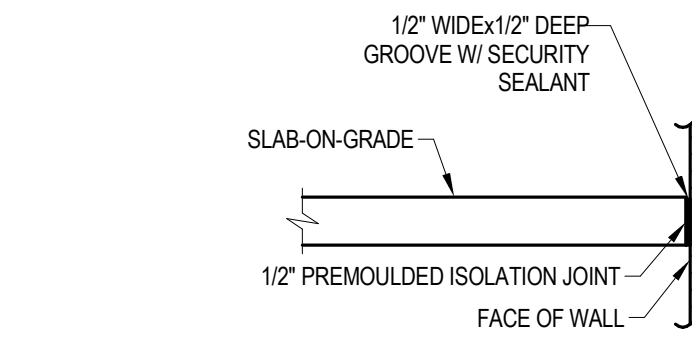
EA. SIDE OF OPENING PROVIDE ADD'L REINF PARALLEL TO INTERRUPTED REINF. EQUAL IN AREA TO 1/2 THE AREA OF INTERRUPTED REINF. (2)-#5 EA. SIDE (6" O.C.), EA. FACE, MIN.

- NOTES:
- USE ABOVE REINF AROUND OPENINGS 1'-0" AND LARGER UNLESS NOTED OTHERWISE ON DWGS.
 - FOR OPENINGS LESS THAN 1'-0", NO ADD'L REINF IS REQ'D, UNLESS NOTED OTHERWISE ON DWGS.

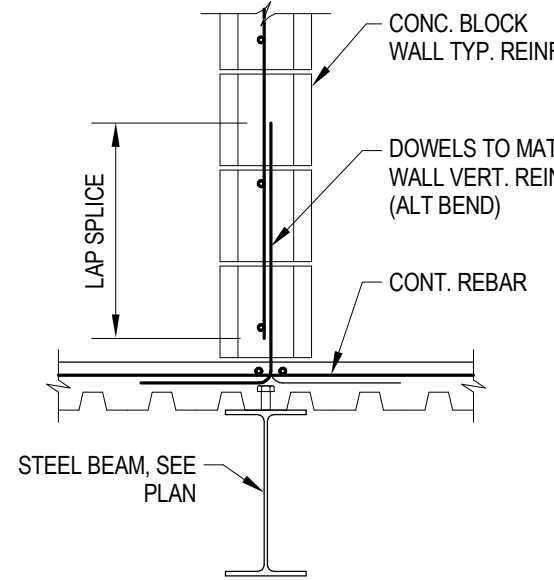
6 TYP. OPENING REINF. IN SLABS AND WALLS
S-500 / 3/8" = 1'-0"



5 TYP. THICKENED SLAB
S-500 / 3/8" = 1'-0"

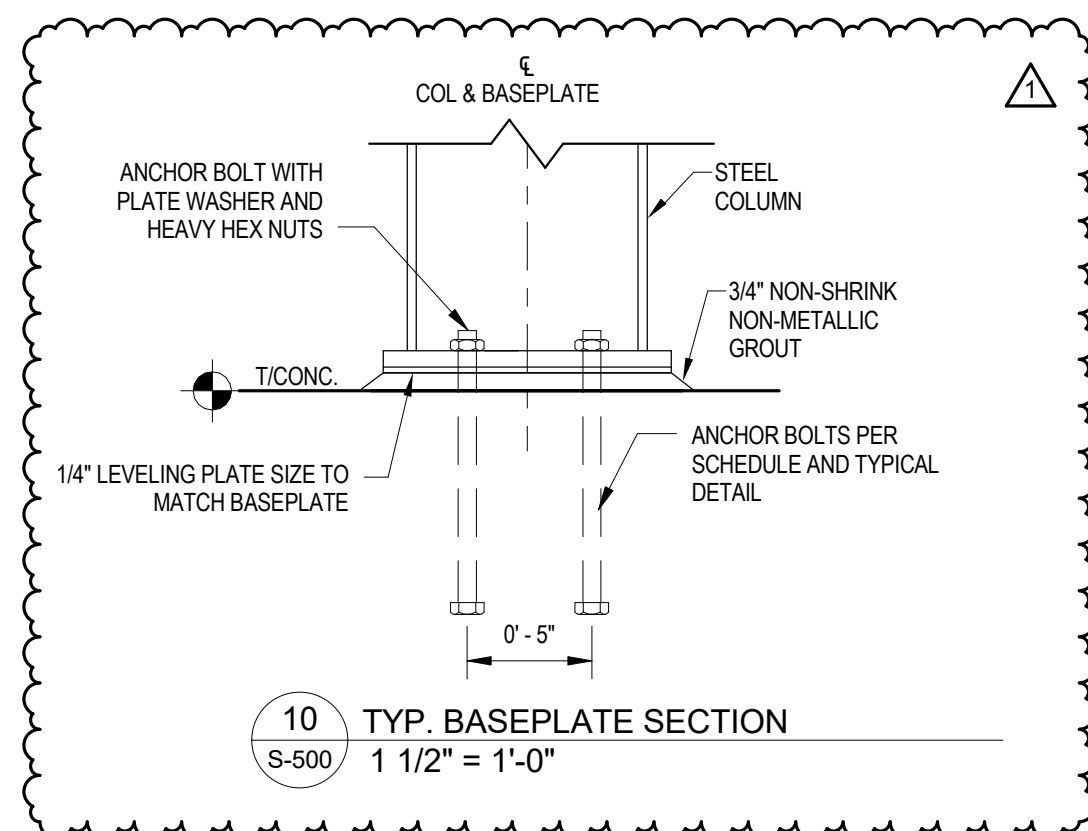


7 TYP. ISOLATION JOINT
S-500 / 1/2" = 1'-0"

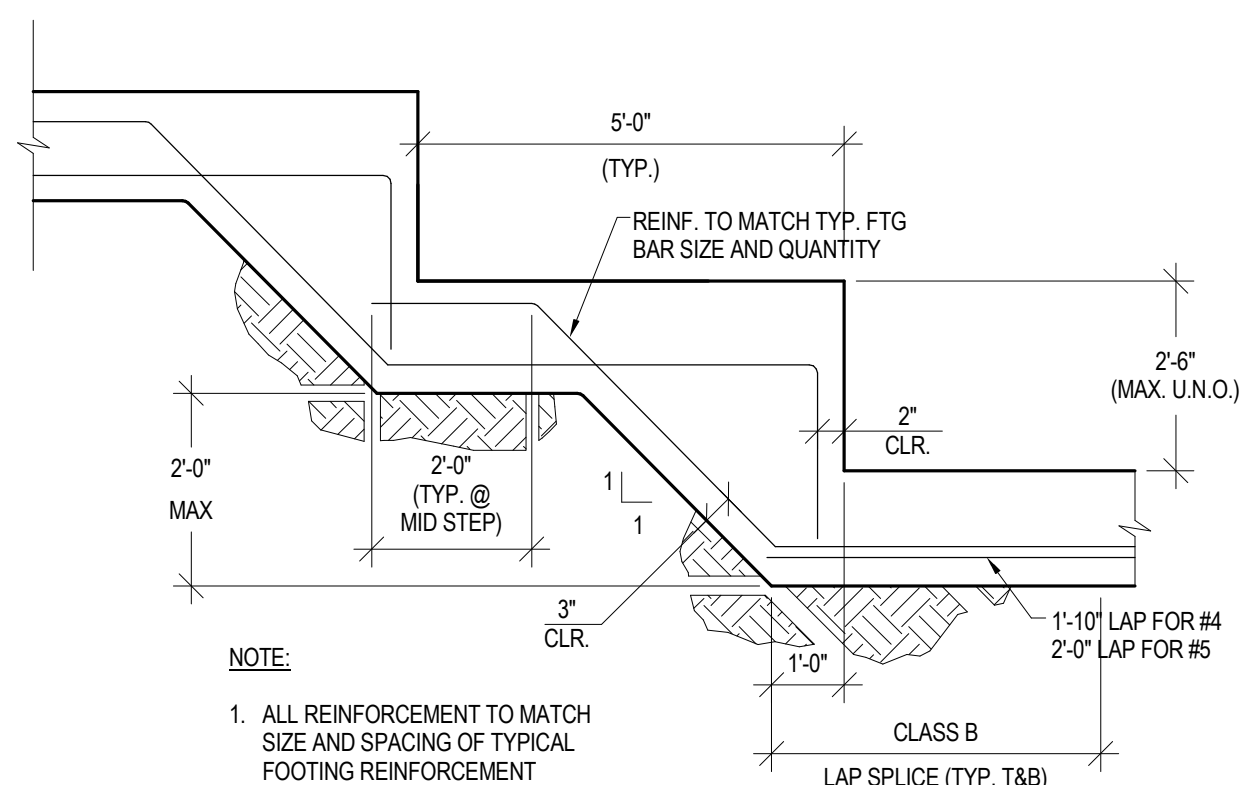


- NOTE:
- WHEN LOWER FLUTE DOES NOT LINE-UP WITH BEAM ENGINEER TO VERIFY THAT HOOKED DOWEL CAN BE DEVELOPED IN THE CONC. SLAB.

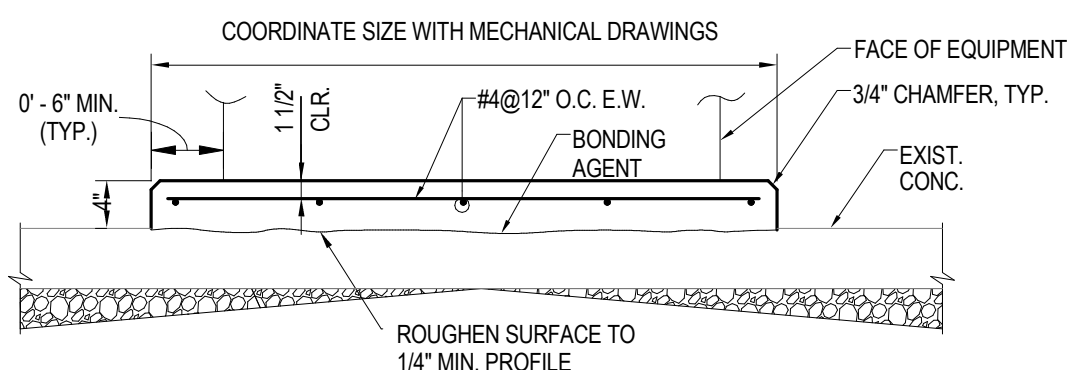
8 TYP. STEEL BEAM UNDER WALL
S-500 / 3/4" = 1'-0"



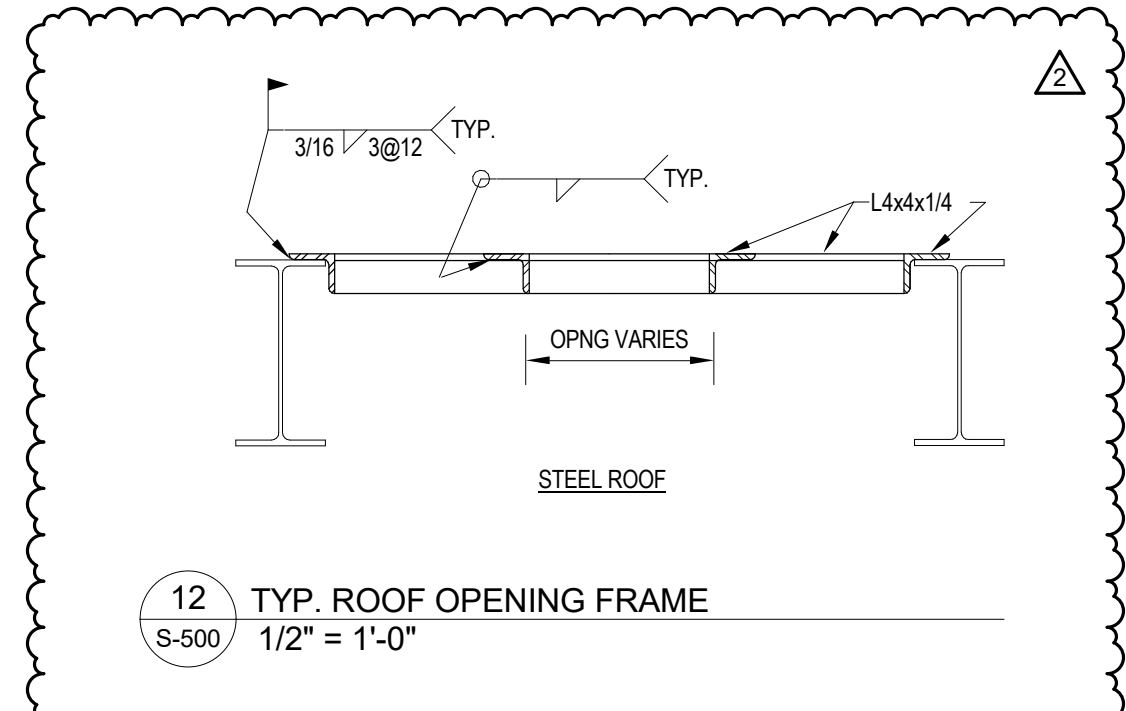
10 TYP. BASEPLATE SECTION
S-500 / 1 1/2" = 1'-0"



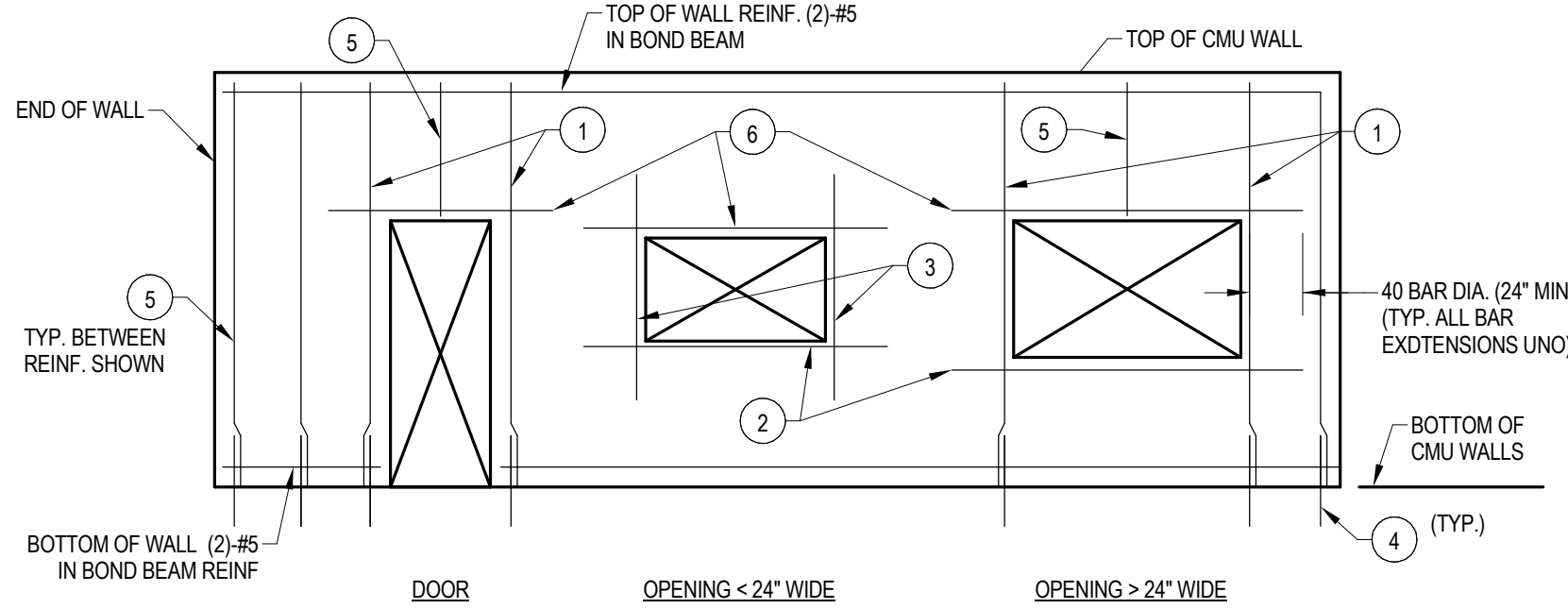
11 TYP. FOOTING STEP
S-500 / 1/2" = 1'-0"



9 TYP. HOUSEKEEPING PAD
S-500 / 3/4" = 1'-0"



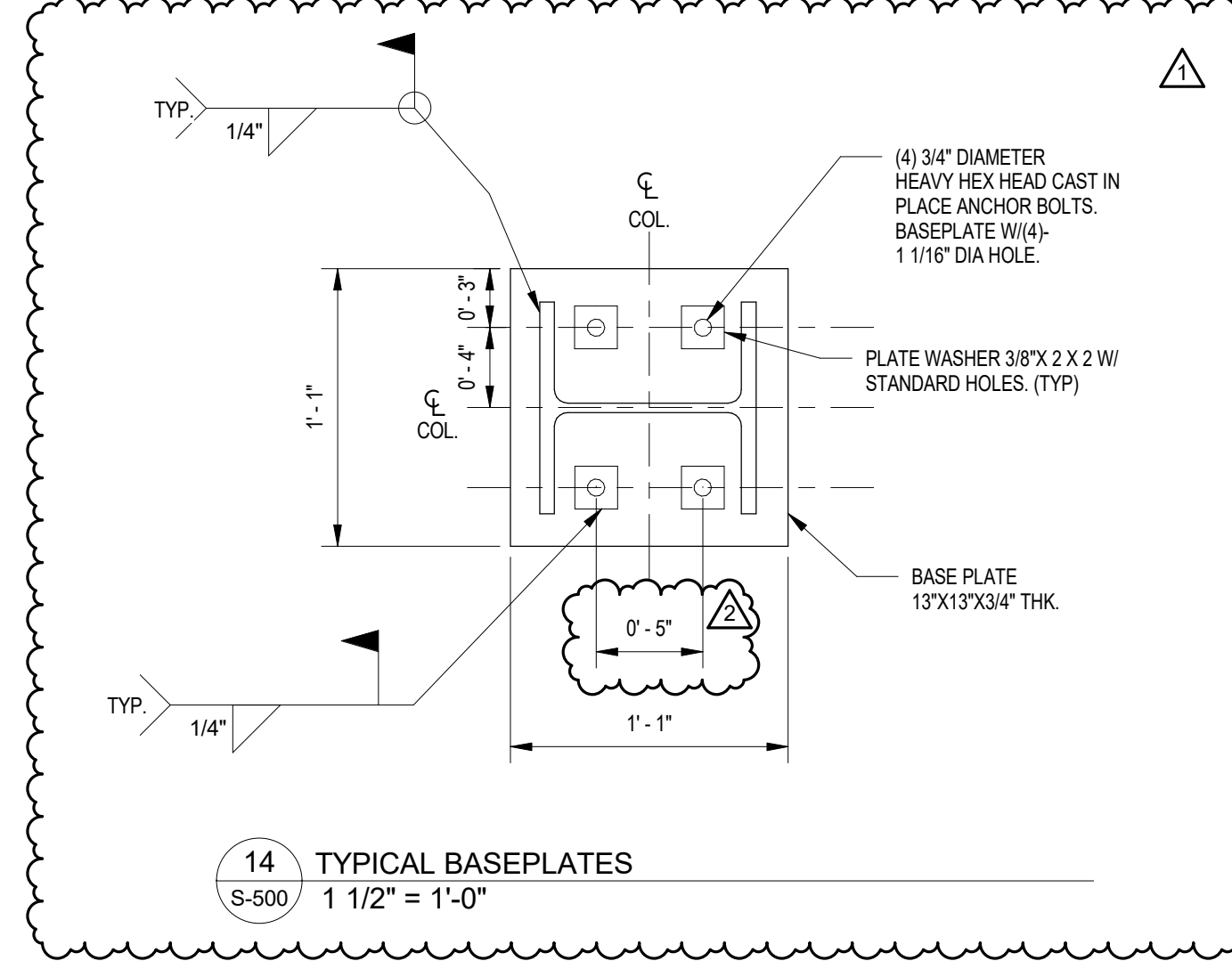
12 TYP. ROOF OPENING FRAME
S-500 / 1/2" = 1'-0"



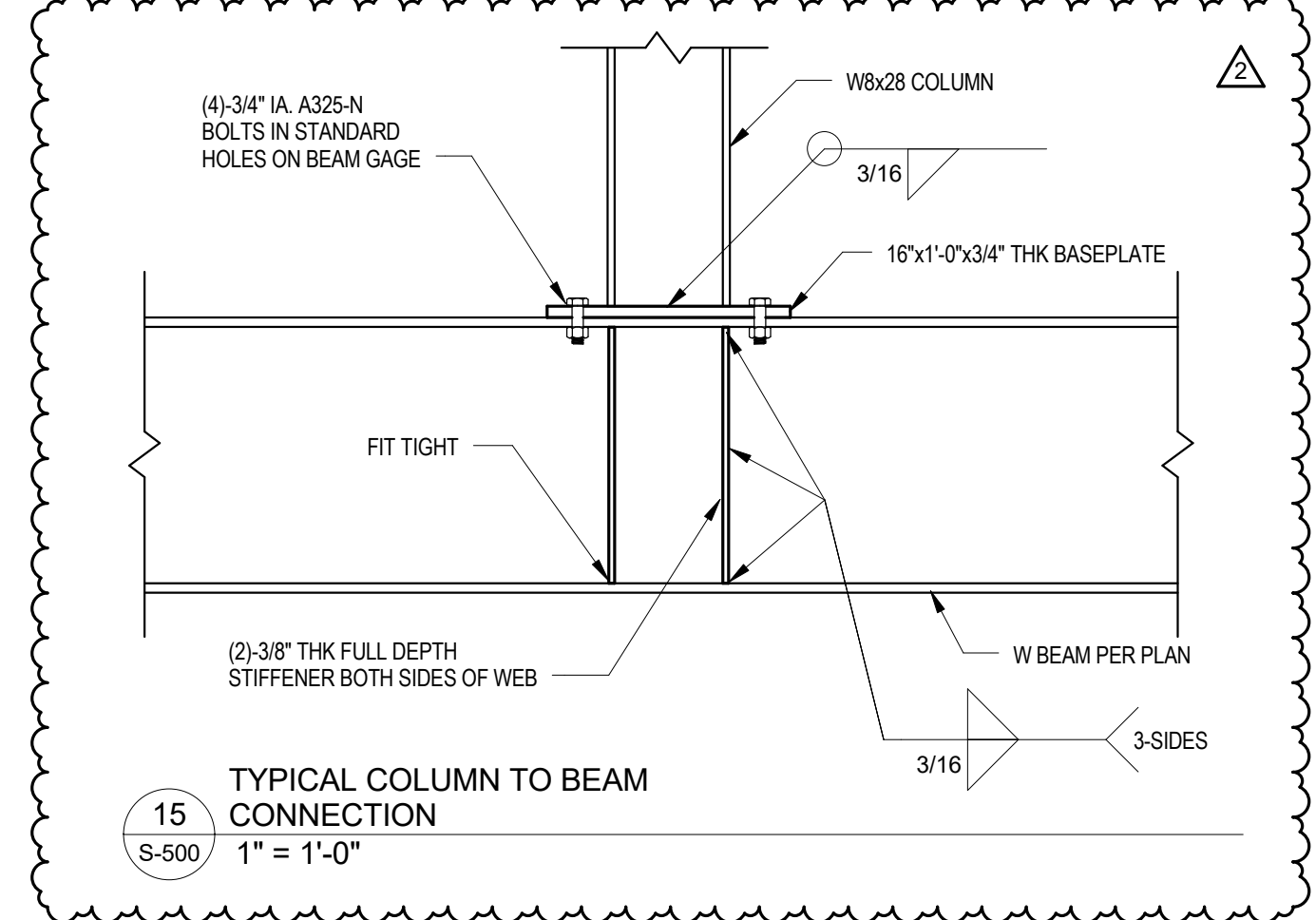
- NOTE:
- IF FULL LENGTH IS NOT AVAILABLE, EXTEND AS FAR AS POSSIBLE, HOOK 90°, THEN EXTEND BEYOND BEND, REMAINDER OF LENGTH REQ'D (NOT LESS THAN 12")

13 TYP. CMU WALL DETAIL
S-500 / 1/2" = 1'-0"

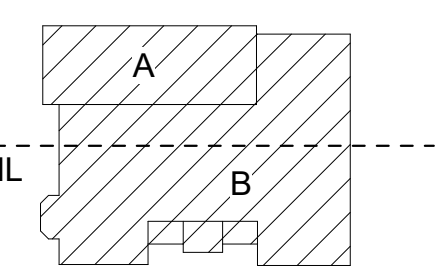
- SEE TYPICAL CMU OPENING, ADDITIONAL REINF. DETAIL THIS DRAWING
- SILL BARS. (2)-#5 IN BOND BEAM
- (1)-#5 EACH SIDE
- DOWELS TO MATCH SIZE AND SPACING OF WALL REINFORCING.
- BETWEEN BARS SHOWN, PROVIDE TYPICAL WALL REINF PER PLANS
- SEE STEEL LINTEL SCHEDULE



14 TYPICAL BASEPLATES
S-500 / 1 1/2" = 1'-0"



15 TYPICAL COLUMN TO BEAM CONNECTION
S-500 / 1" = 1'-0"



REV. #	DESCRIPTION	DATE
1	ADDENDA #1	4/25/2018
2	ADDENDA #2	5/04/2018

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ISSUE DATE	4/9/18
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CHECKED BY	MNW

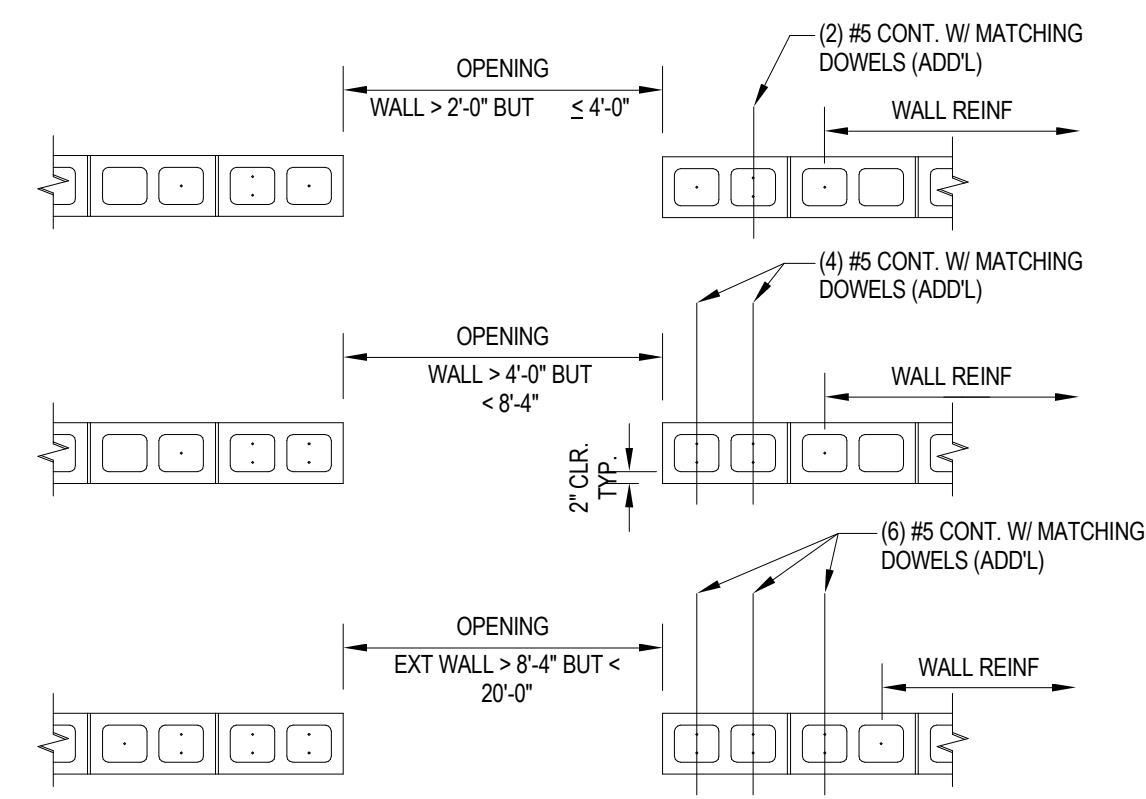
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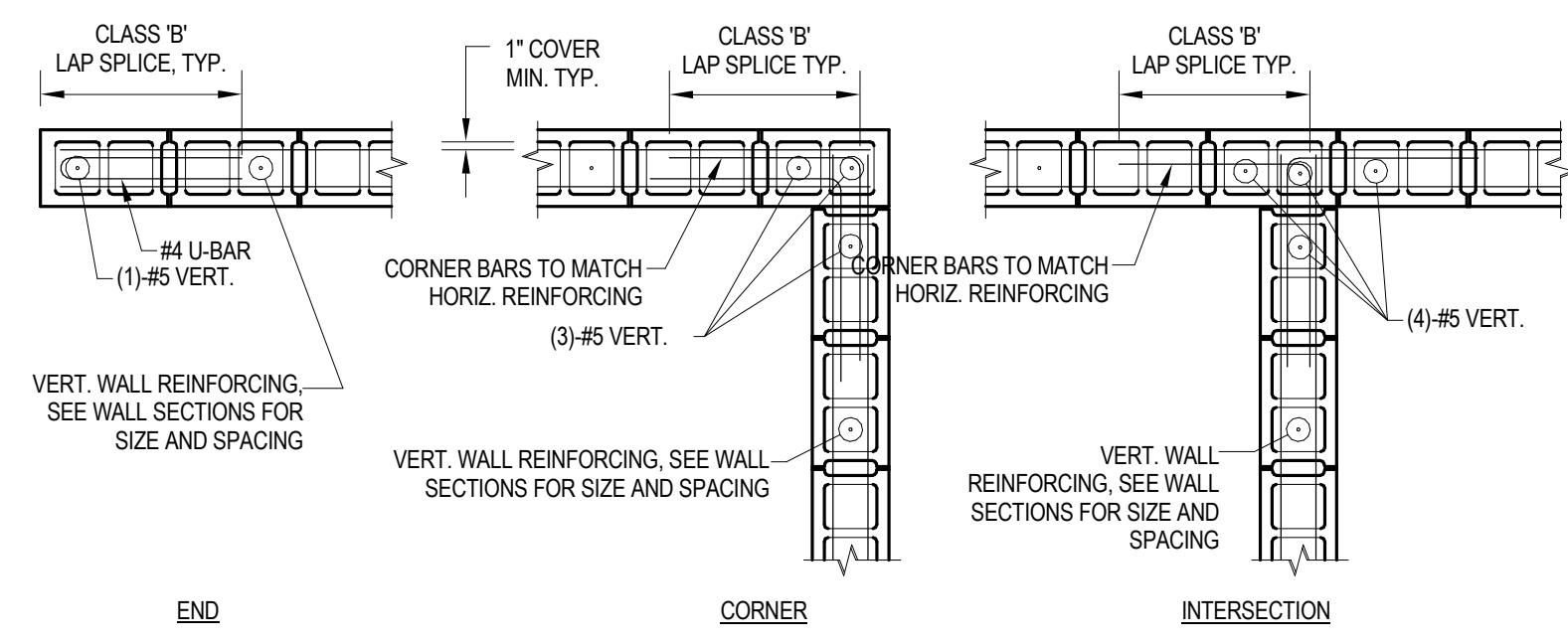
TYPICAL DETAILS

S-500

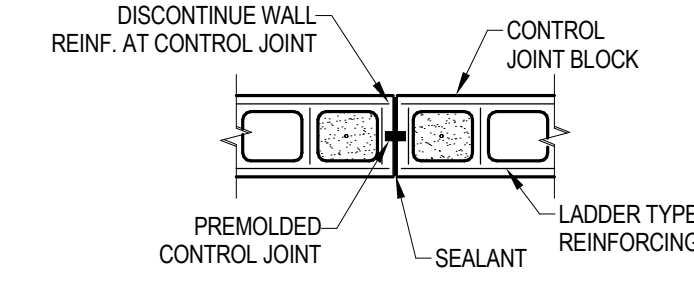
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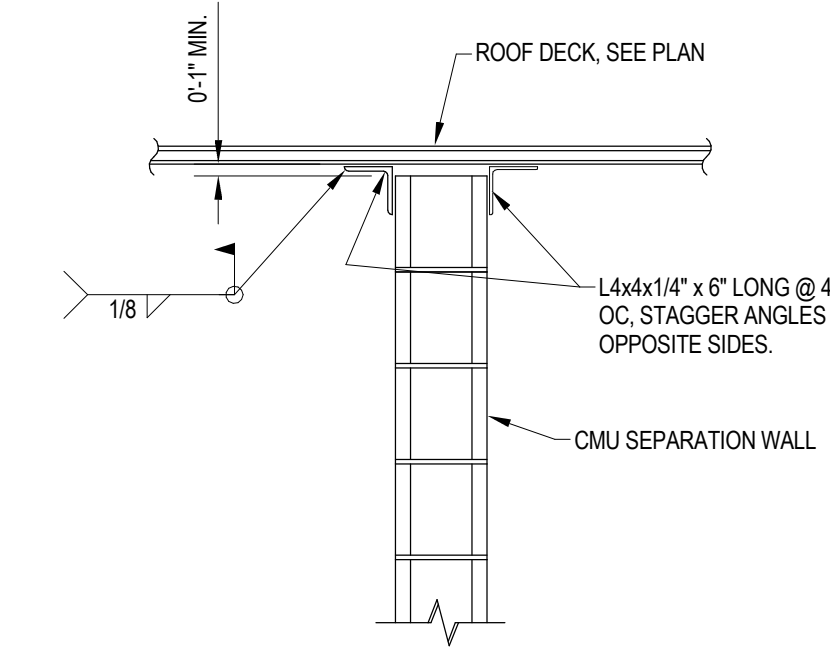
1 TYP. ADDITIONAL REINFORCING AT CMU OPENING
S-501 1/2" = 1'-0"



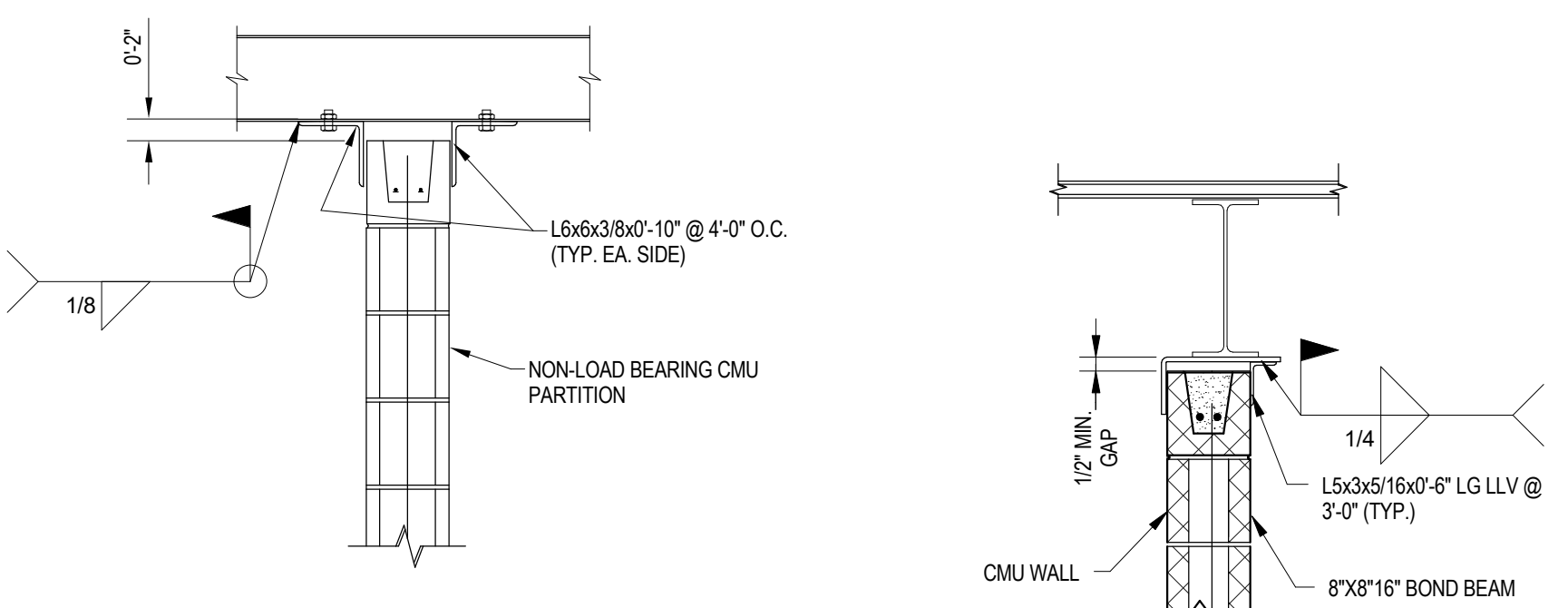
2 TYP. BOND BEAM
S-501 1/2" = 1'-0"



3 TYP. MASONRY CONTROL JOINT
S-501 1/2" = 1'-0"

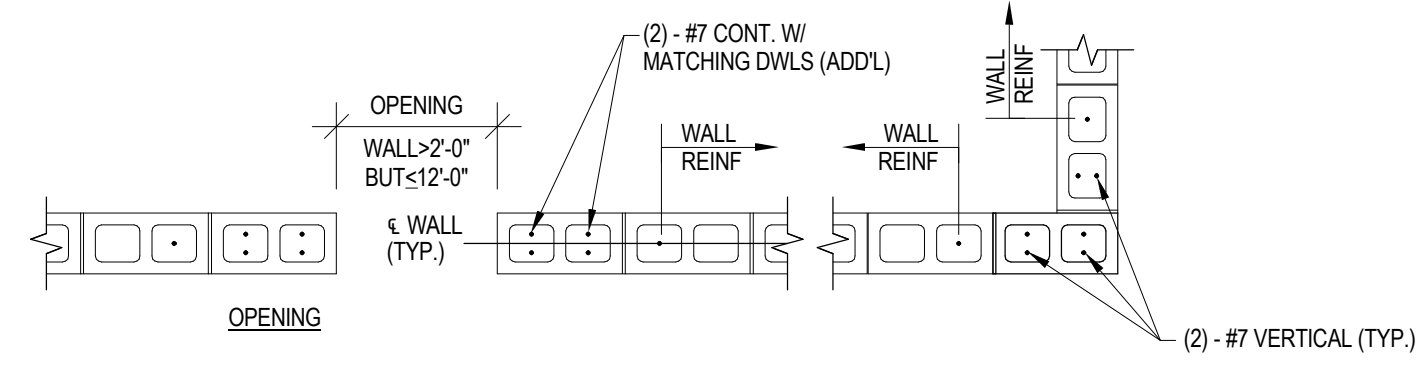


4 TYP. NON-LOAD BEARING CMU SUPPORT @ ROOF DECK
S-501 3/4" = 1'-0"



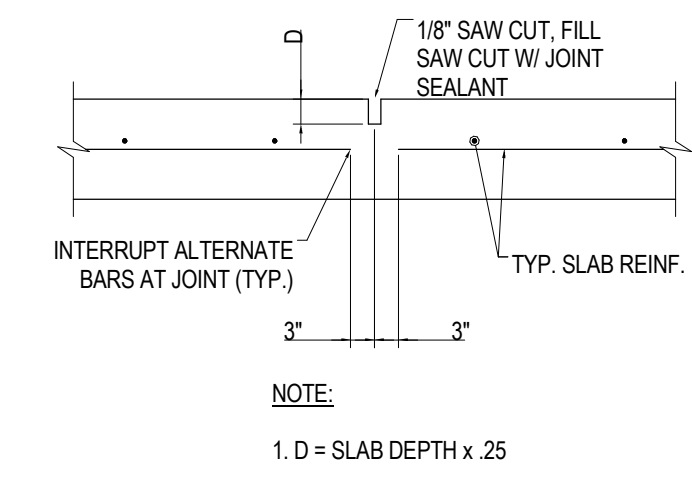
5 TYP. NON-LOAD BEARING PARTITION CONNECTION @ ROOF BEAM
S-501 3/4" = 1'-0"

6 TYP. BEAM CONNECTION @ CMU WALL
S-501 3/4" = 1'-0"

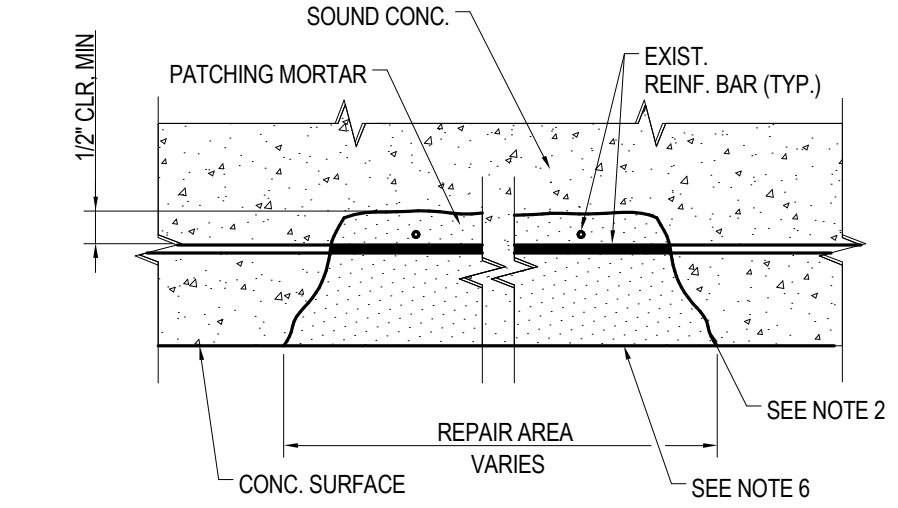


- NOTES:**
1. PROVIDE (4) - #7 BARS AT EACH CORNER FOR EACH DIRECTION AND (4) - #7 BARS AT EACH DOOR OPENING.
 2. TYPICAL WALL REINFORCEMENT SHALL BE #5 @ 16" ON CENTER UNLESS NOTED OTHERWISE.
 3. SHAFT WALLS SHALL BE FULLY GROUTED WITH (2) #7 HORIZONTALS AT 4'-0" O.C. LOCATE HORIZONTAL BARS AT TOP AND BOTTOM OF ALL OPENINGS

7 TYP. CMU REINF. AT ELEVATOR SHAFT
S-501 1/2" = 1'-0"

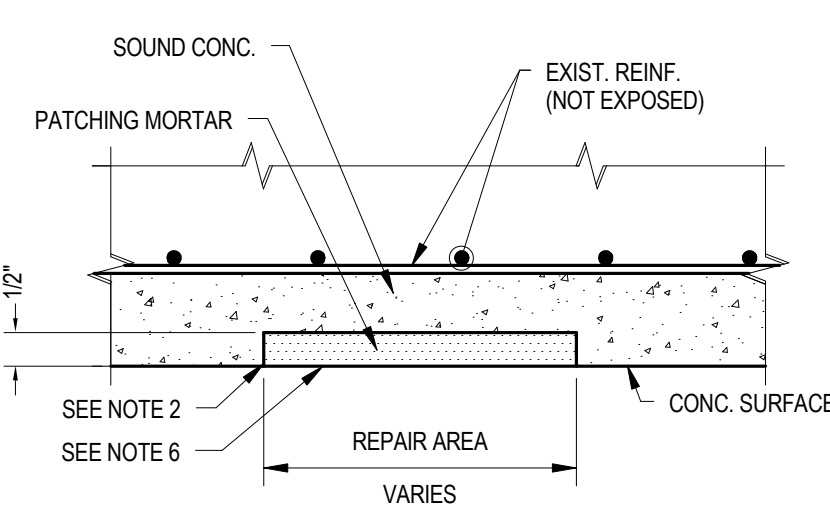


8 TYP. SLAB-ON-GRADE CONTROL JOINT
S-501 1/2" = 1'-0"



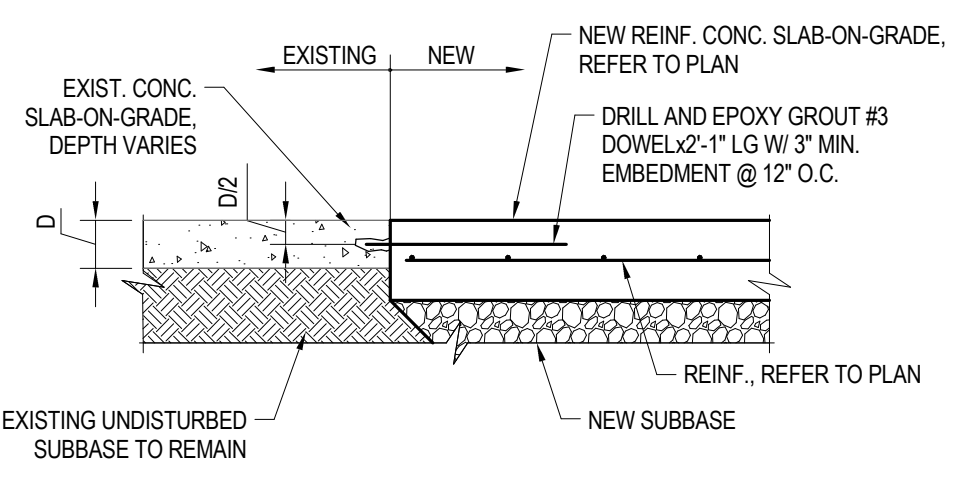
- NOTES:**
1. THIS REPAIR DETAIL SHALL BE USED TO CORRECT SPALLING AND UNSOUND CONCRETE 1/2" OR GREATER IN DEPTH. UNSOUND CONCRETE IS CONSIDERED TO BE CONCRETE WHICH HAS A HOLLOW SOUND WHEN TAPPED WITH A HAMMER.
 2. SAWCUT 1/2" DEEP AROUND PERIMETER OF REPAIR AREA. SAWCUTS SHALL BE MADE TO FORM A SQUARE OR RECTANGULAR PATTERN (I.E., CORNERS SHALL BE 90°). DO NOT CUT REINFORCING STEEL.
 3. IF REINFORCING IS CORRODED REMOVE CONCRETE TO 1/2" MIN. AROUND PERIMETER OF STEEL REINFORCING. EXPOSE ALL CORRODED PORTIONS OF REINFORCING.
 4. SANDBLAST ALL SURFACES IN THE REPAIR AREA TO BARE METAL.
 5. IF MORE THAN 25% OF SECTION LOSS IS ENCOUNTERED, CONTACT ENGINEER FOR SPLICE REQUIREMENTS.
 6. COAT ALL CONCRETE AND REINFORCING STEEL SURFACES IN REPAIR AREA WITH A BONDING AGENT/PRIMER/RUST INHIBITOR. USE MIN. OF TWO COATS ON REINFORCING STEEL SURFACES.
 7. FILL VOID WITH PATCHING MORTAR. FINISH PATCHES TO MATCH PLANE AND TEXTURE OF ADJOINING CONCRETE. CURE PATCHES IN ACCORDANCE WITH THE PATCHING MORTAR MANUFACTURER'S RECOMMENDATIONS.

9 TYP. DEEP SPALL REPAIR
S-501 3/4" = 1'-0"

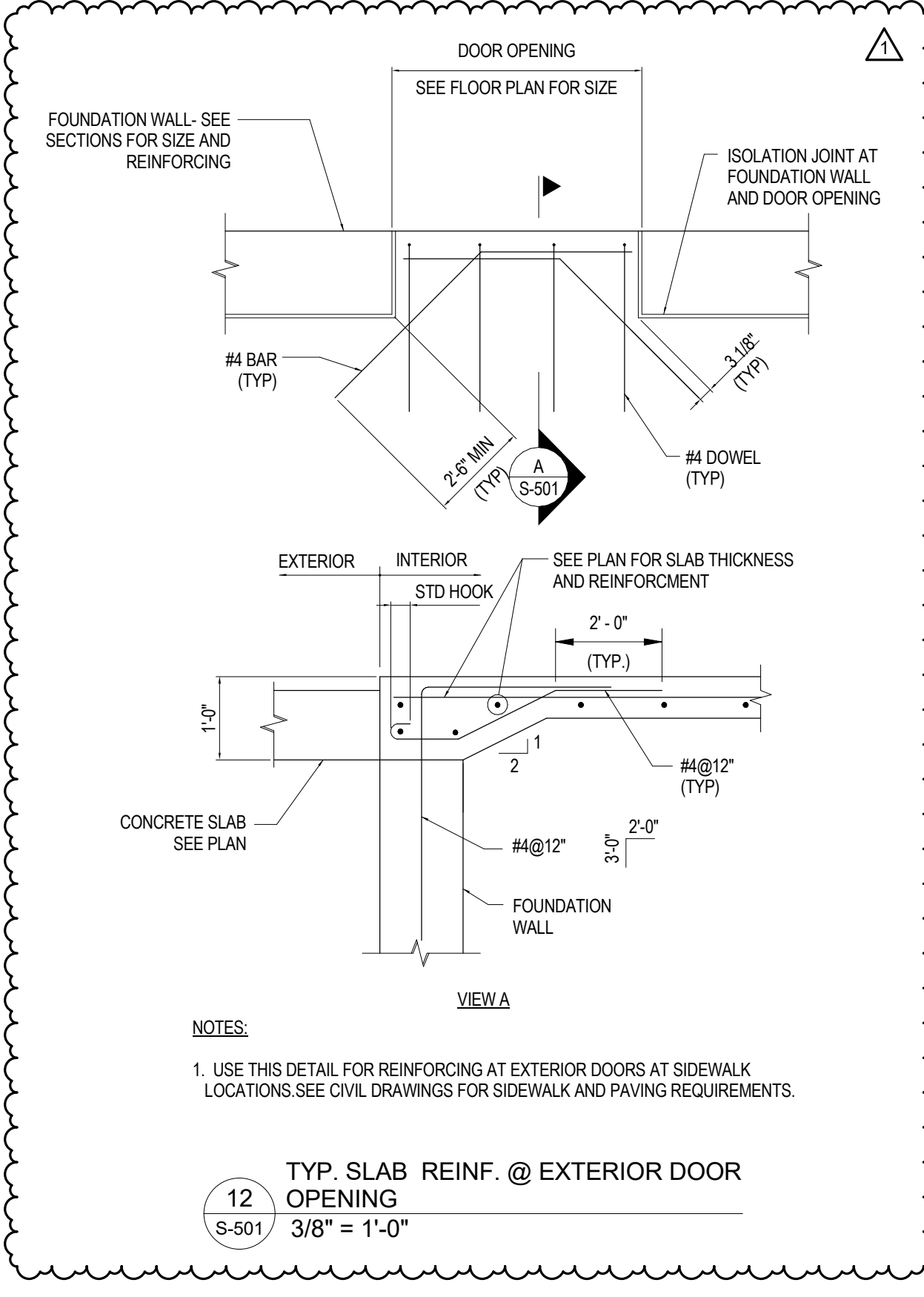


- NOTES:**
1. THIS DETAIL IS USED IN AREAS WHERE SURFACE SPALLING IS LESS THAN 1/2" DEEP, HAS NO EXPOSED REINFORCEMENT, AND IS ADJACENT TO SOUND CONCRETE.
 2. SAWCUT 1/2" DEEP AROUND PERIMETER OF REPAIR AREA. SAWCUTS SHALL BE PERPENDICULAR TO SURFACE AND MADE TO FORM A SQUARE OR RECTANGULAR PATTERN (I.E., CORNERS SHALL BE 90°). DO NOT CUT REINFORCING STEEL.
 3. CHIP CONCRETE TO SOUND CONCRETE (1/2" MINIMUM).
 4. COAT ALL CONC SURFACES IN REPAIR AREA WITH A BONDING AGENT.
 5. FILL VOID WITH PATCHING MORTAR. FINISH PATCHES TO MATCH PLANE AND TEXTURE OF ADJACENT CONCRETE. CURE PATCHES IN ACCORDANCE WITH THE PATCHING MORTAR MANUFACTURER'S RECOMMENDATIONS

10 TYP. SHALLOW SPALL REPAIR
S-501 3/4" = 1'-0"

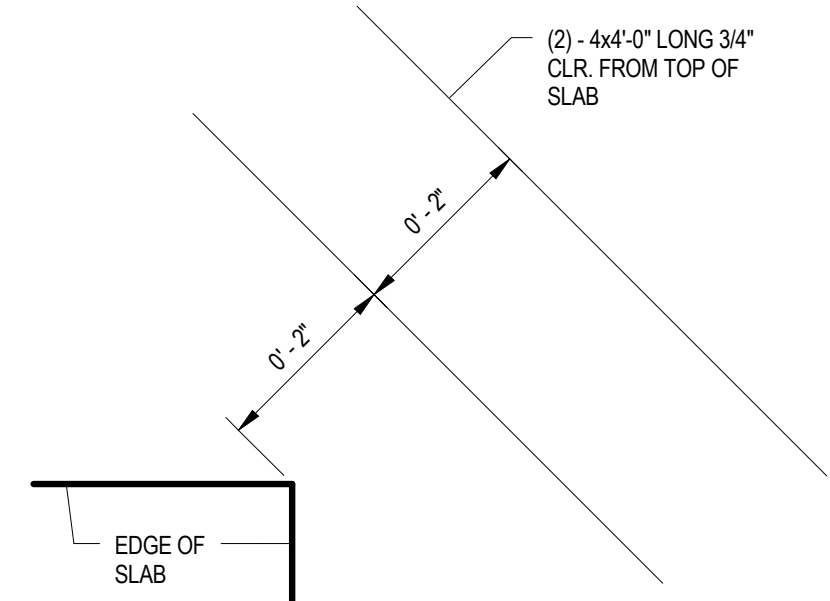


11 TYP. NEW TO EXISTING SLAB
S-501 1/2" = 1'-0"

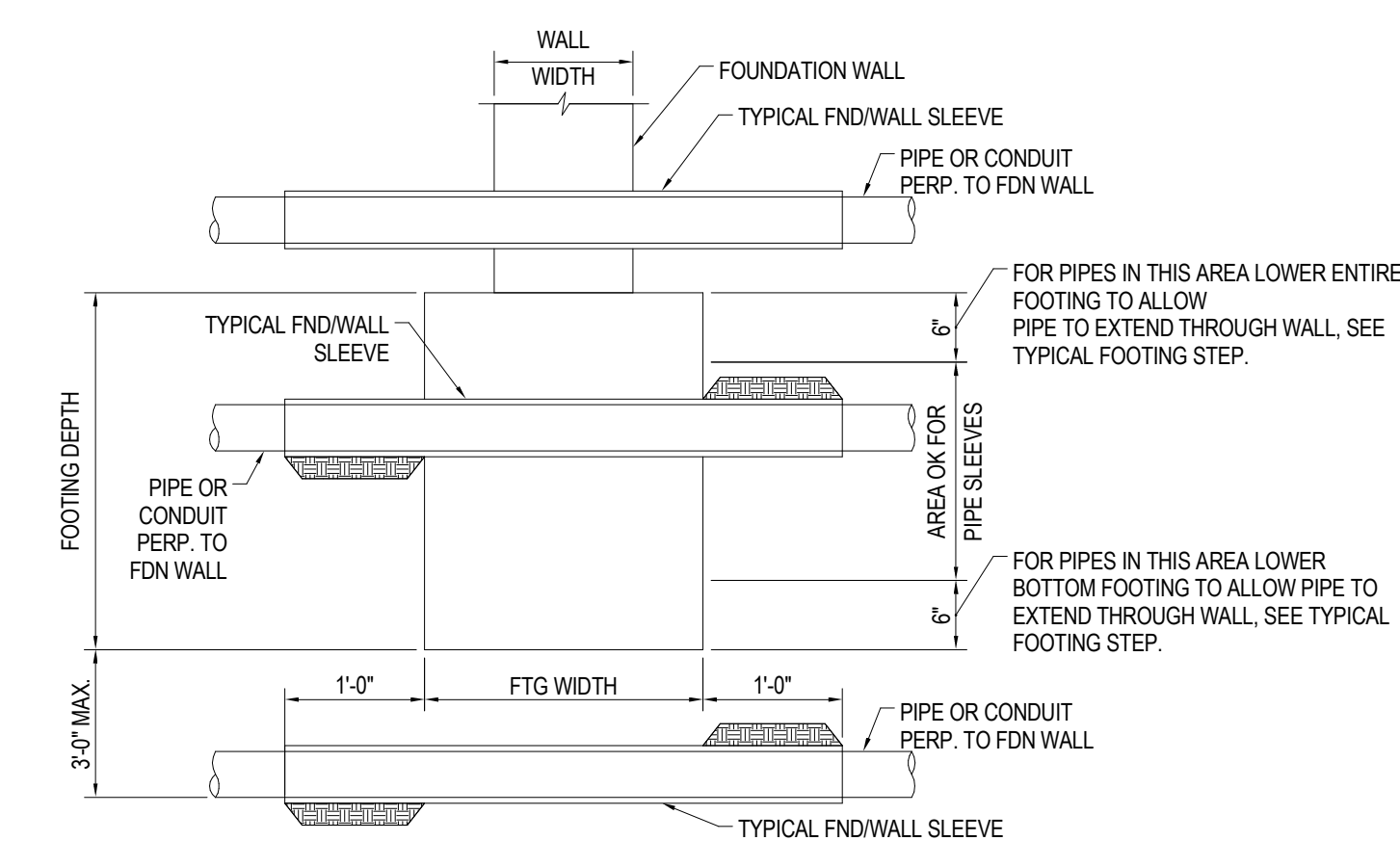


- NOTES:**
1. USE THIS DETAIL FOR REINFORCING AT EXTERIOR DOORS AT SIDEWALK LOCATIONS SEE CIVIL DRAWINGS FOR SIDEWALK AND PAVING REQUIREMENTS.

12 TYP. SLAB REINF. @ EXTERIOR DOOR OPENING
S-501 3/8" = 1'-0"

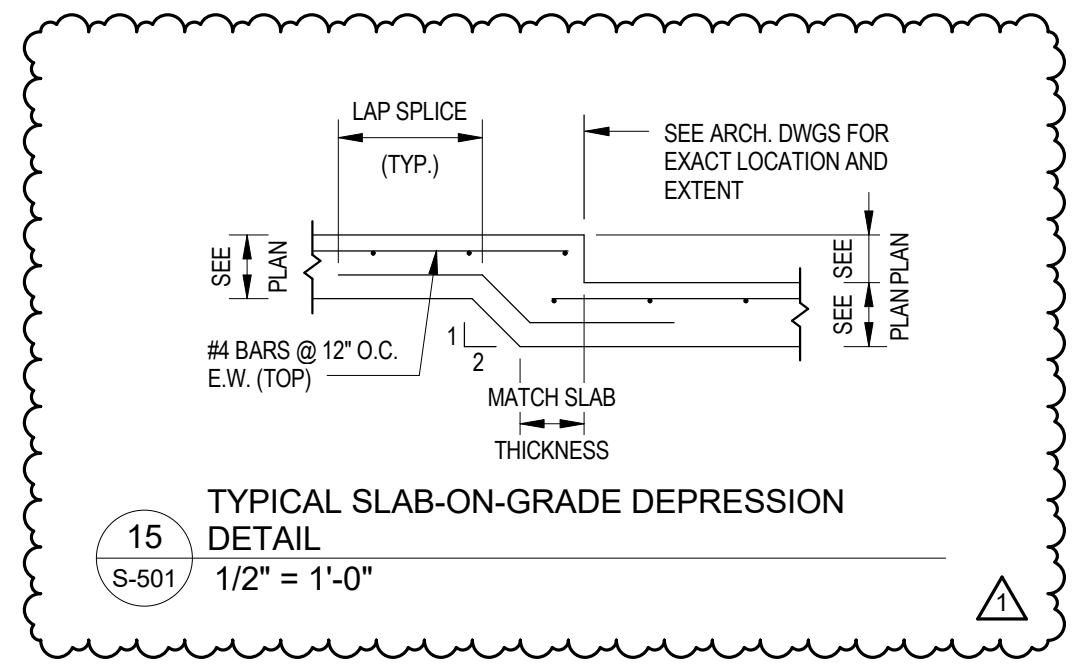


13 TYP. ADDITIONAL REINF. @ SLAB RE-ENTRANT CORNERS
S-501 6" = 1'-0"

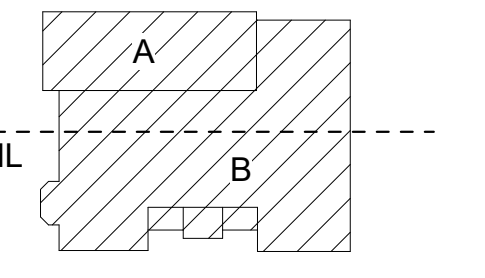


- NOTES:**
1. FOR PIPES 3'-0" OR LESS BELOW FOOTING, PROVIDE SLEEVES AS SHOWN.
 2. FOR PIPES AND CONDUITS MORE THAN 3'-0" BELOW FOOTING, PIPE SLEEVE MAY BE ELIMINATED.
 3. COORDINATE WITH MECHANICAL, ELECTRICAL, AND ALL OTHER TRADES.

14 TYP. UTILITIES @ FND WALL
S-501 3/4" = 1'-0"



15 TYPICAL SLAB-ON-GRADE DEPRESSION DETAIL
S-501 1/2" = 1'-0"

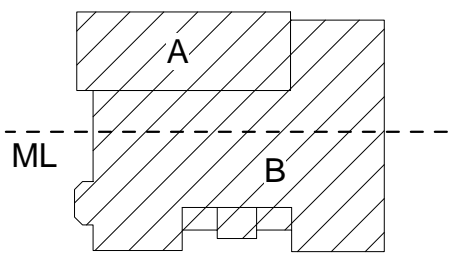


REV. #	DESCRIPTION	DATE
1	ADDENDA #2	5/04/2018

JOB NO.	1711
SCALE	As indicated
ISSUE DATE	4/9/18
DRAWN BY	SNP
CHECKED BY	MNW

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JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
George M. Forbes- Renovation, Alterations
and Addition

198 Dr Samuel McCree Way,
Rochester, NY 14611

REV. #	DESCRIPTION	DATE
2	BID ADDENDA #2	5/4/18

JOB NO.	1711
SCALE	1/4" = 1'-0"
ISSUE DATE	4/9/18
DRAWN BY	Author
CHECKED BY	Checker

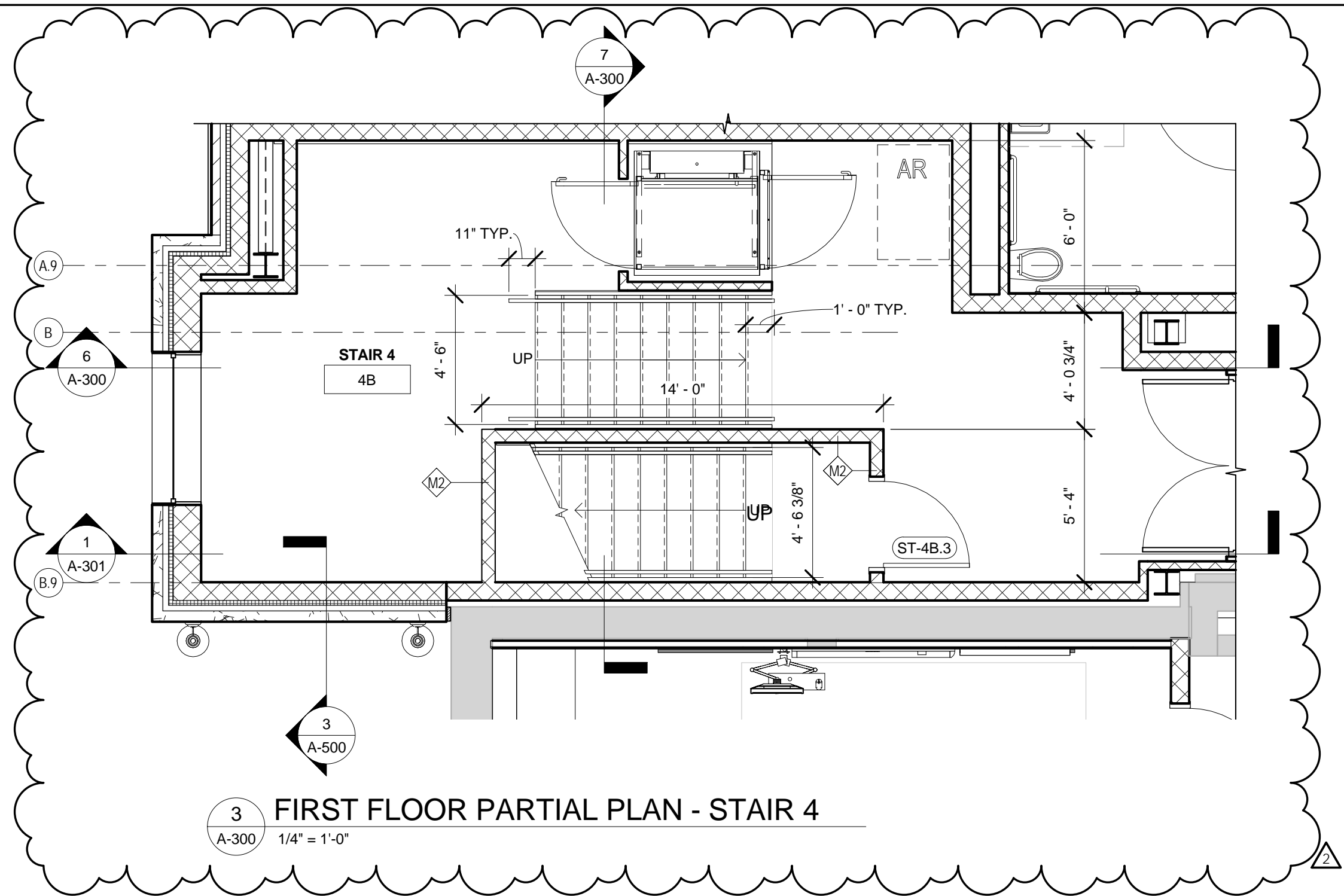
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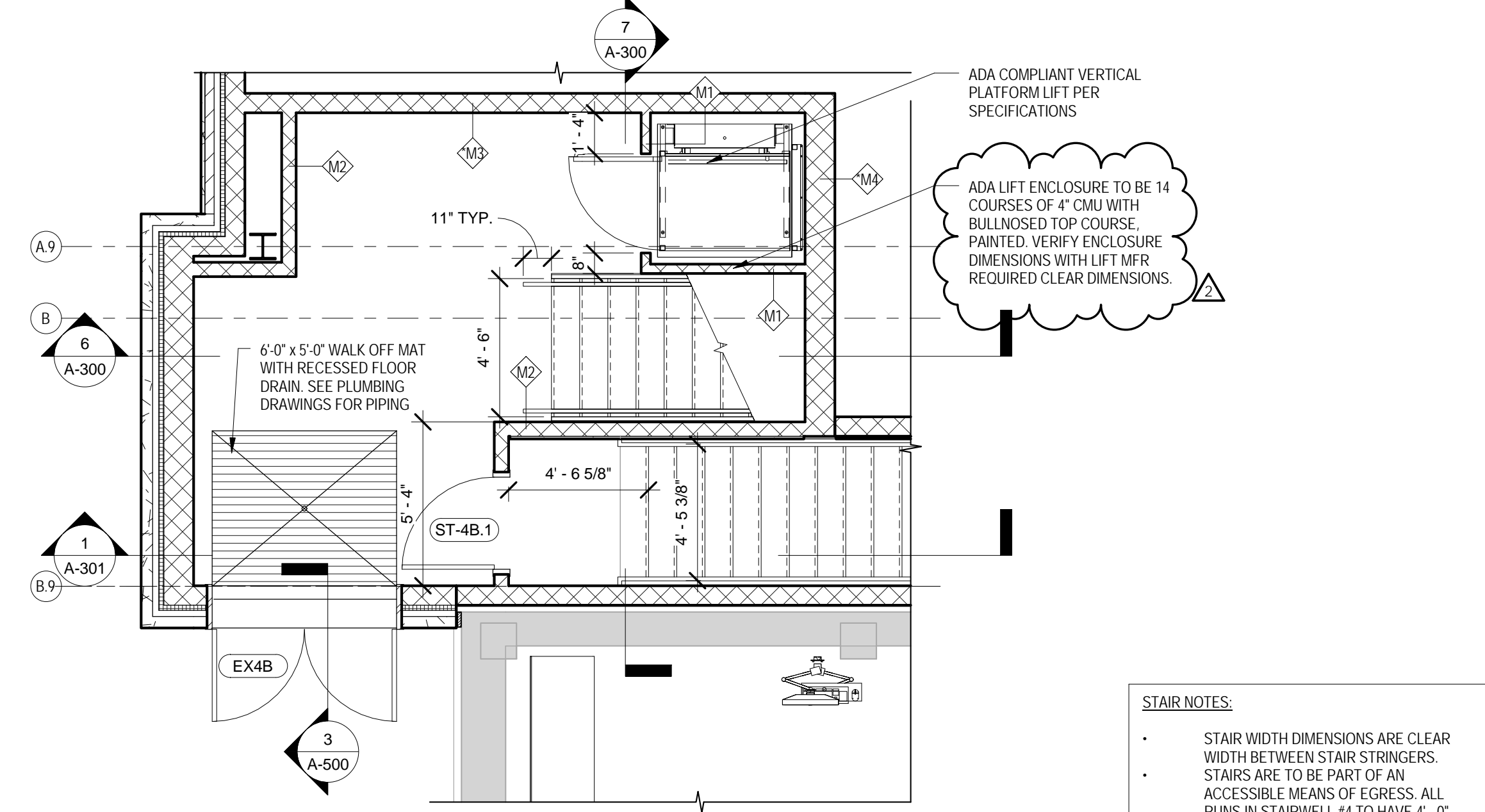
STAIR 4 PLANS AND SECTIONS

A-300

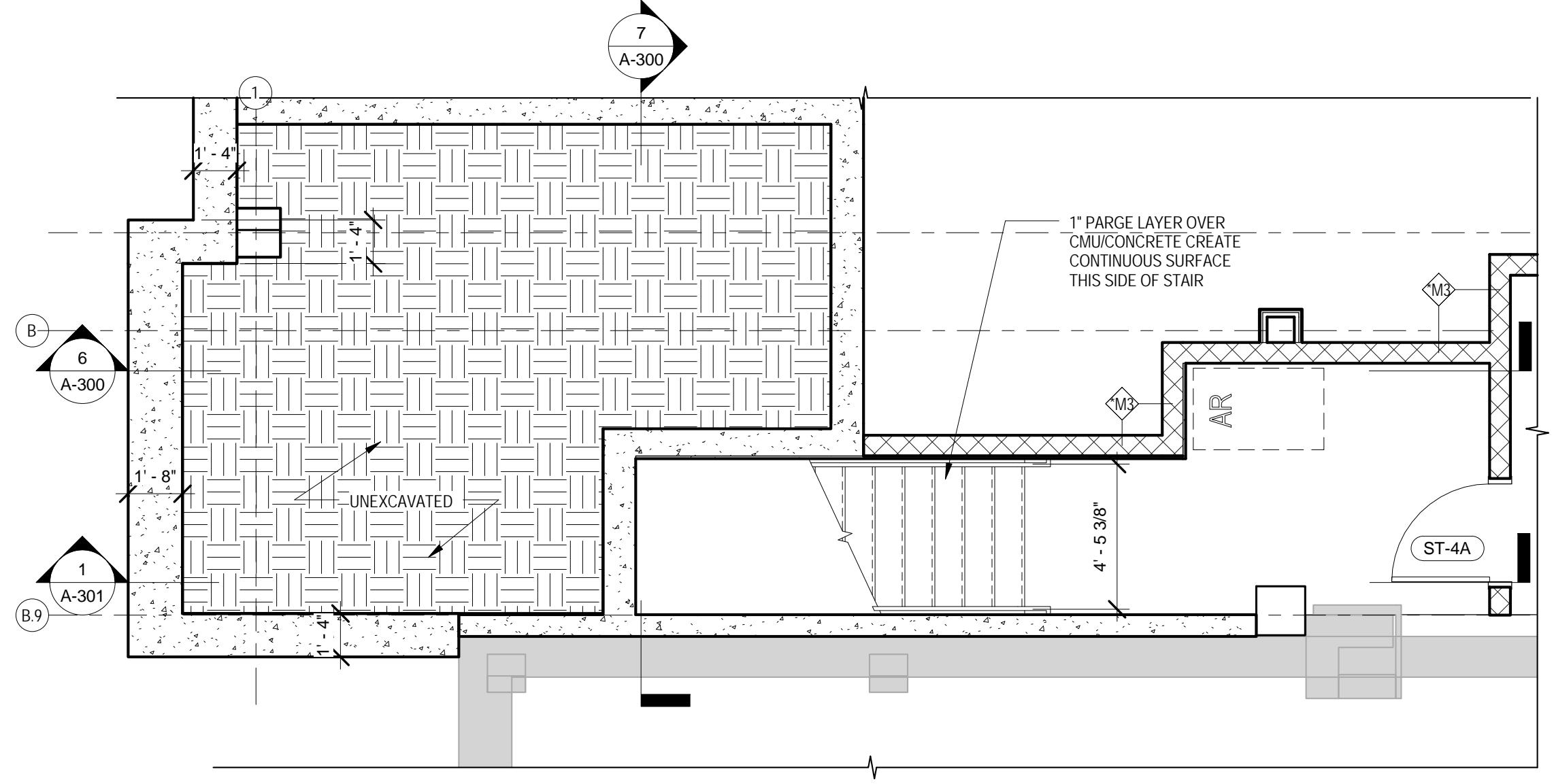
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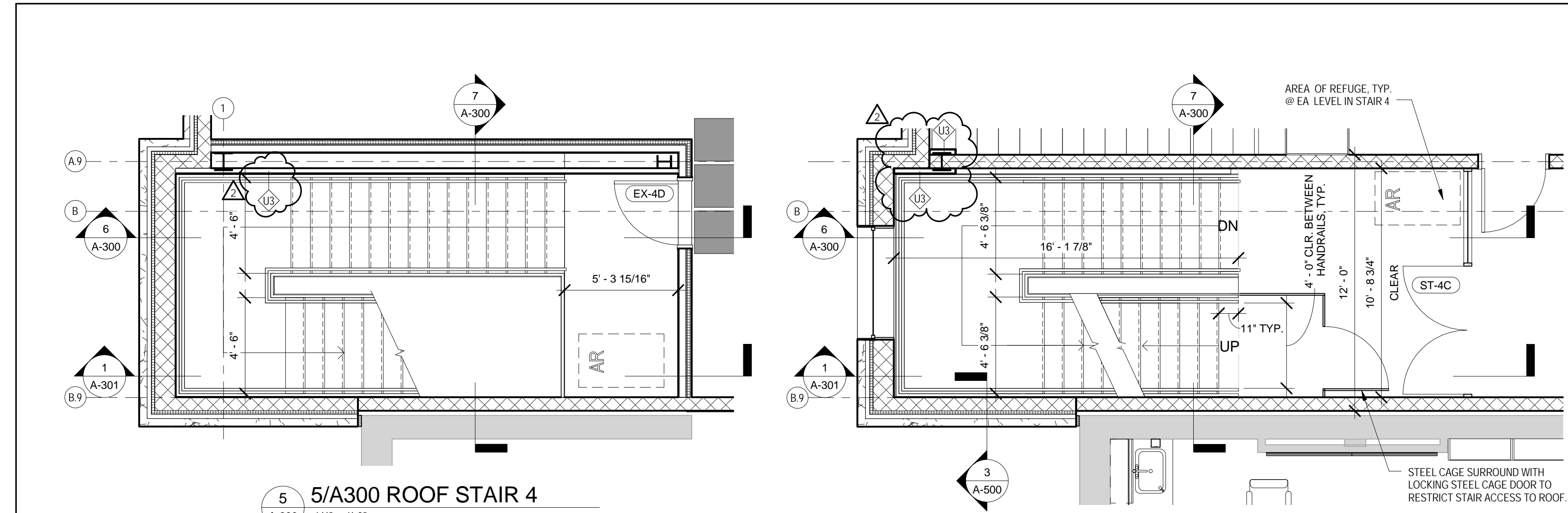
3 FIRST FLOOR PARTIAL PLAN - STAIR 4
A-300 1/4" = 1'-0"



2 VESTIBULE PARTIAL PLAN - STAIR 4
A-300 1/4" = 1'-0"

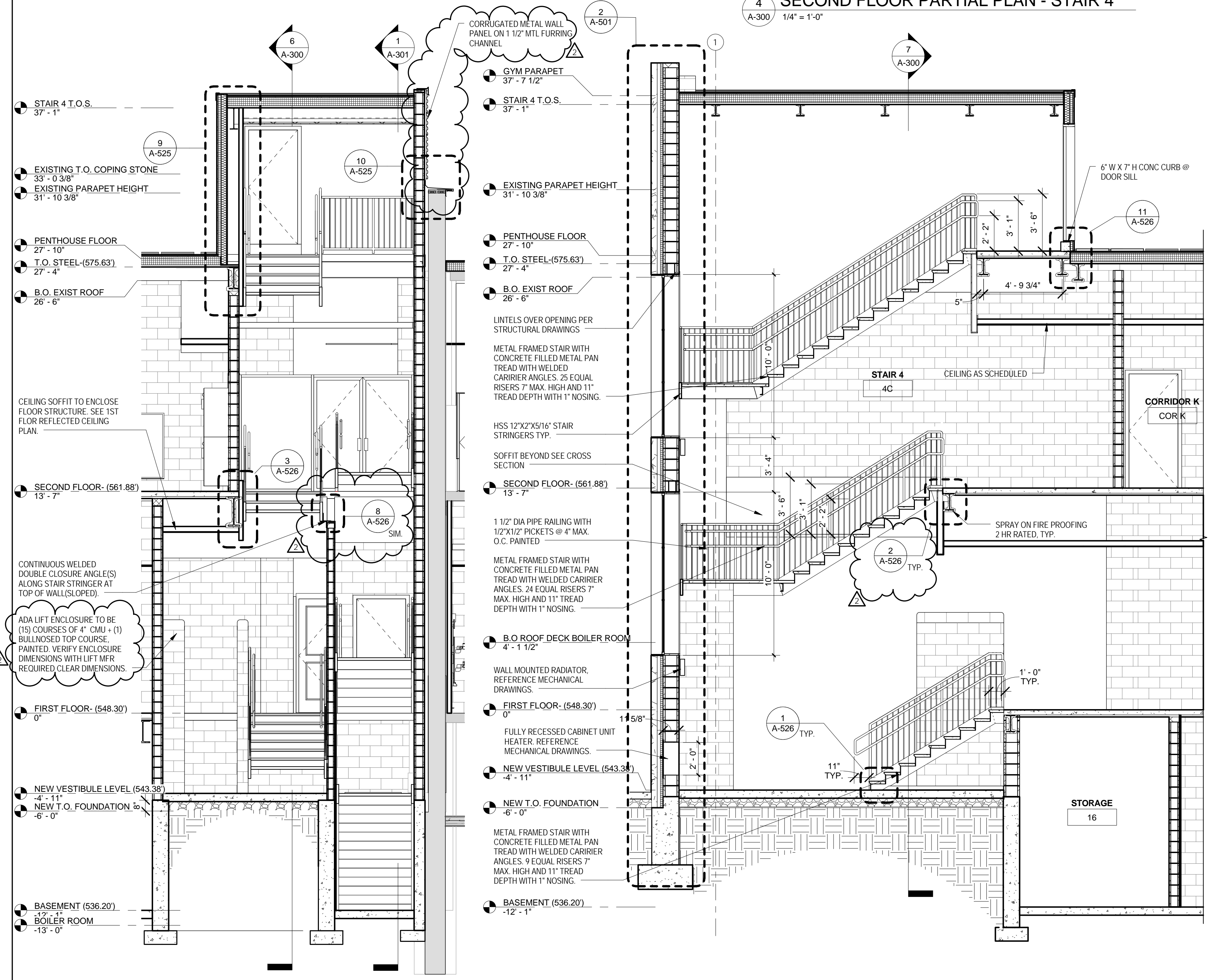


1 BASEMENT PARTIAL PLAN - STAIR 4
A-300 1/4" = 1'-0"



5 5/A300 ROOF STAIR 4
A-300 1/4" = 1'-0"

4 SECOND FLOOR PARTIAL PLAN - STAIR 4
A-300 1/4" = 1'-0"



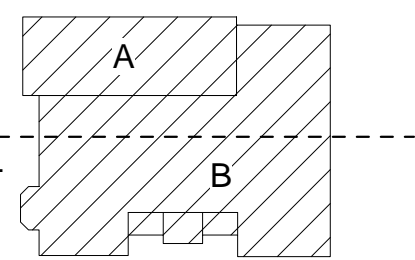
7 STAIR 4 CROSS SECTION
A-300 1/4" = 1'-0"

6 STAIR 4 SECTION 1
A-300 1/4" = 1'-0"

STAIR NOTES:

- STAIR WIDTH DIMENSIONS ARE CLEAR WIDTH BETWEEN STAIR STRINGERS. STAIRS ARE TO BE PART OF AN ACCESSIBLE MEANS OF EGRESS. ALL RUNS IN STAIRWELL #4 TO HAVE 4'-0" MIN. WIDTH CLEAR BETWEEN HANDRAILS.
- ADA LIFT ENCLOSURE TO BE 14 COURSES OF 4" CMU WITH BULLNOSED TOP COURSE. PAINTED. VERIFY ENCLOSURE DIMENSIONS WITH LIFT MFR REQUIRED CLEAR DIMENSIONS.
- 6'-0" X 5'-0" WALK OFF MAT WITH RECESSED FLOOR DRAIN. SEE PLUMBING DRAWINGS FOR PIPING.
- ADA COMPLIANT VERTICAL PLATFORM LIFT PER SPECIFICATIONS.

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

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CHECKED BY	LM

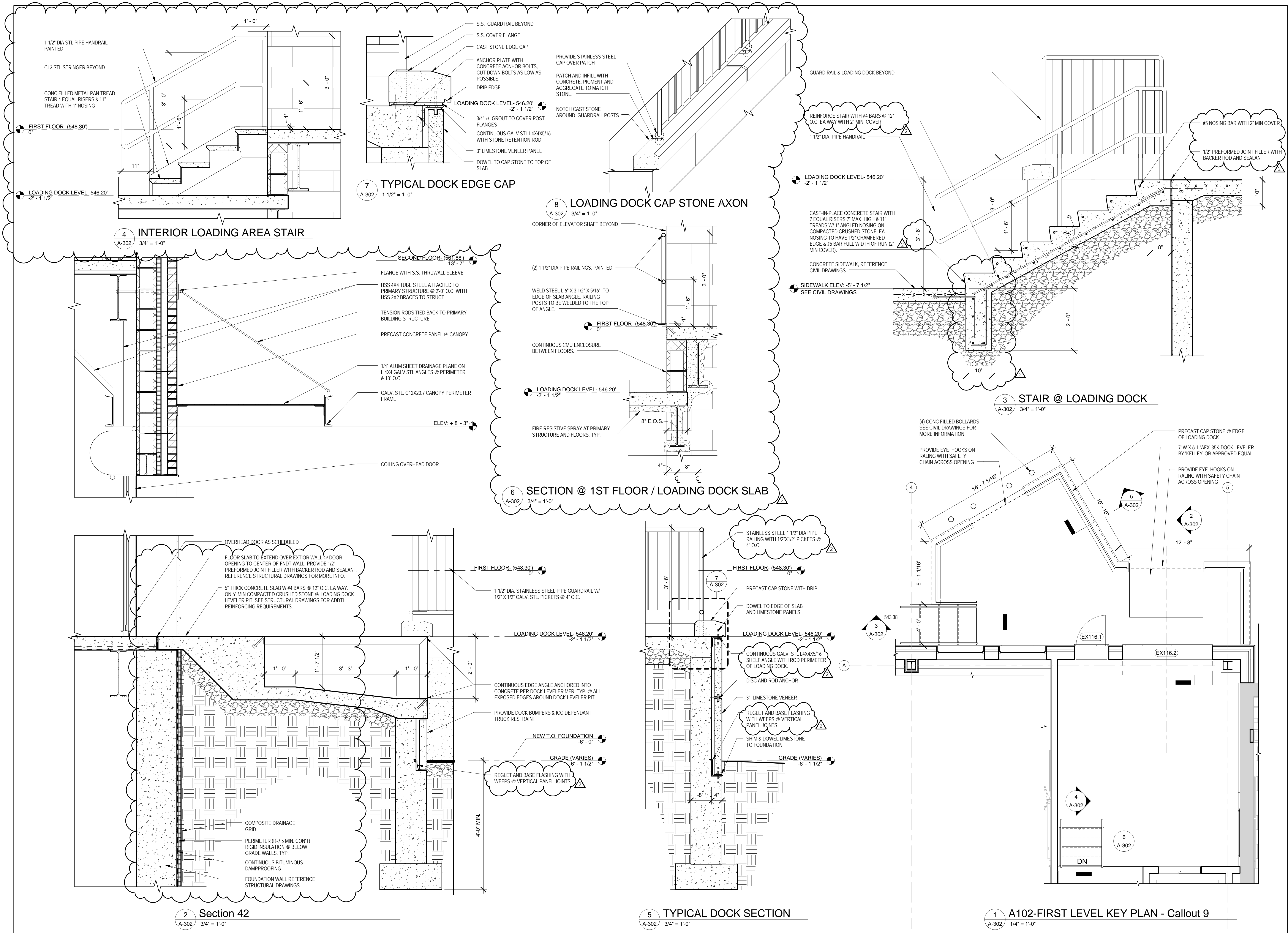
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DRAWING TITLE

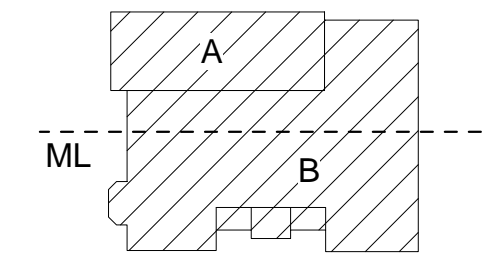
LOADING DOCK ENLARGED PLANS AND SECTIONS

A-302

ISSUED FOR BIDDING



JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
George M. Forbes- Renovation, Alterations
and Addition

198 Dr Samuel McCree Way,
Rochester, NY 14611

REV. #	DESCRIPTION	DATE
2	BID ADDENDA #2	5/4/18

JOB NO.	1711
SCALE	As indicated
ISSUE DATE	4/9/18
DRAWN BY	ETG
CHECKED BY	LM

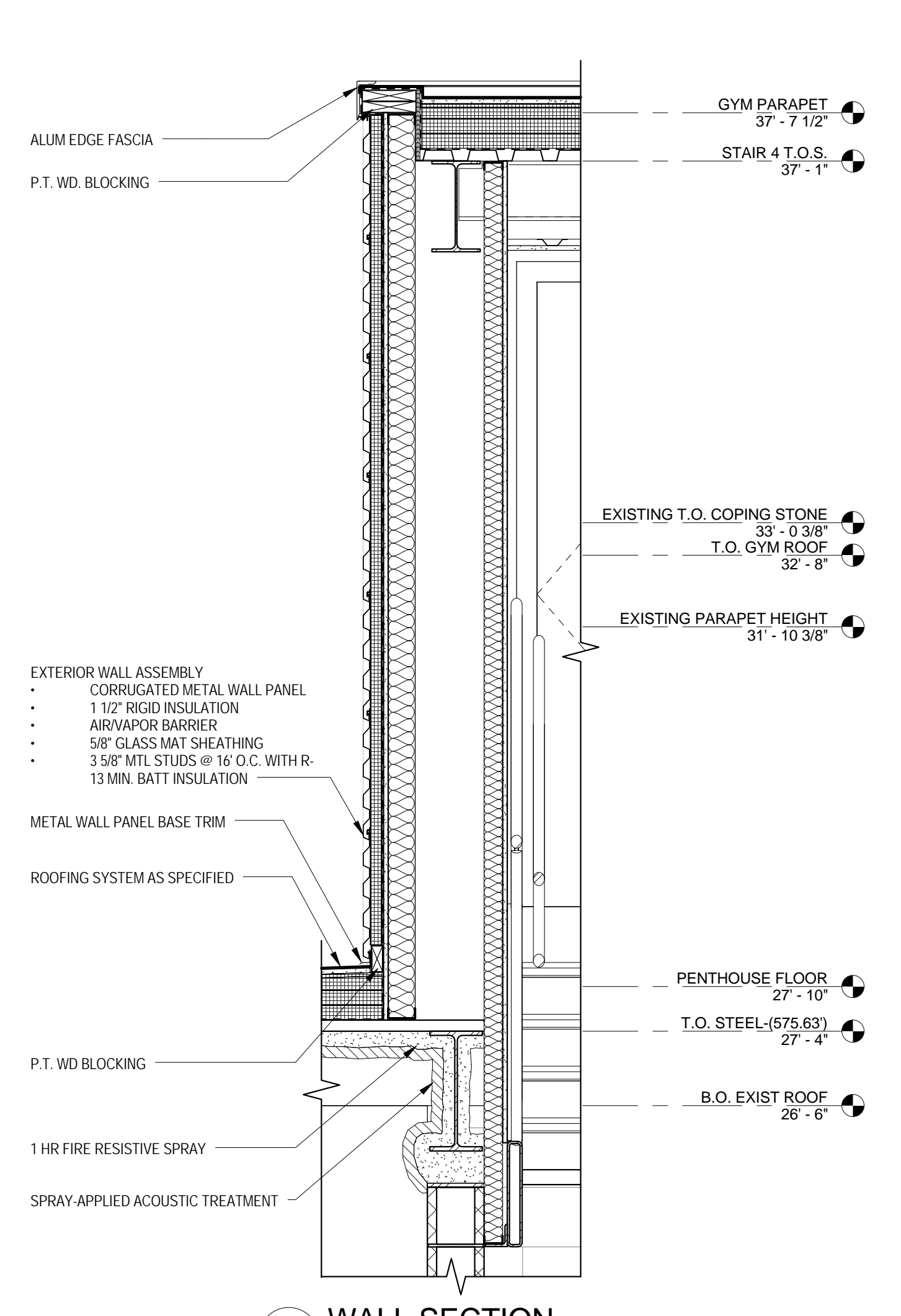
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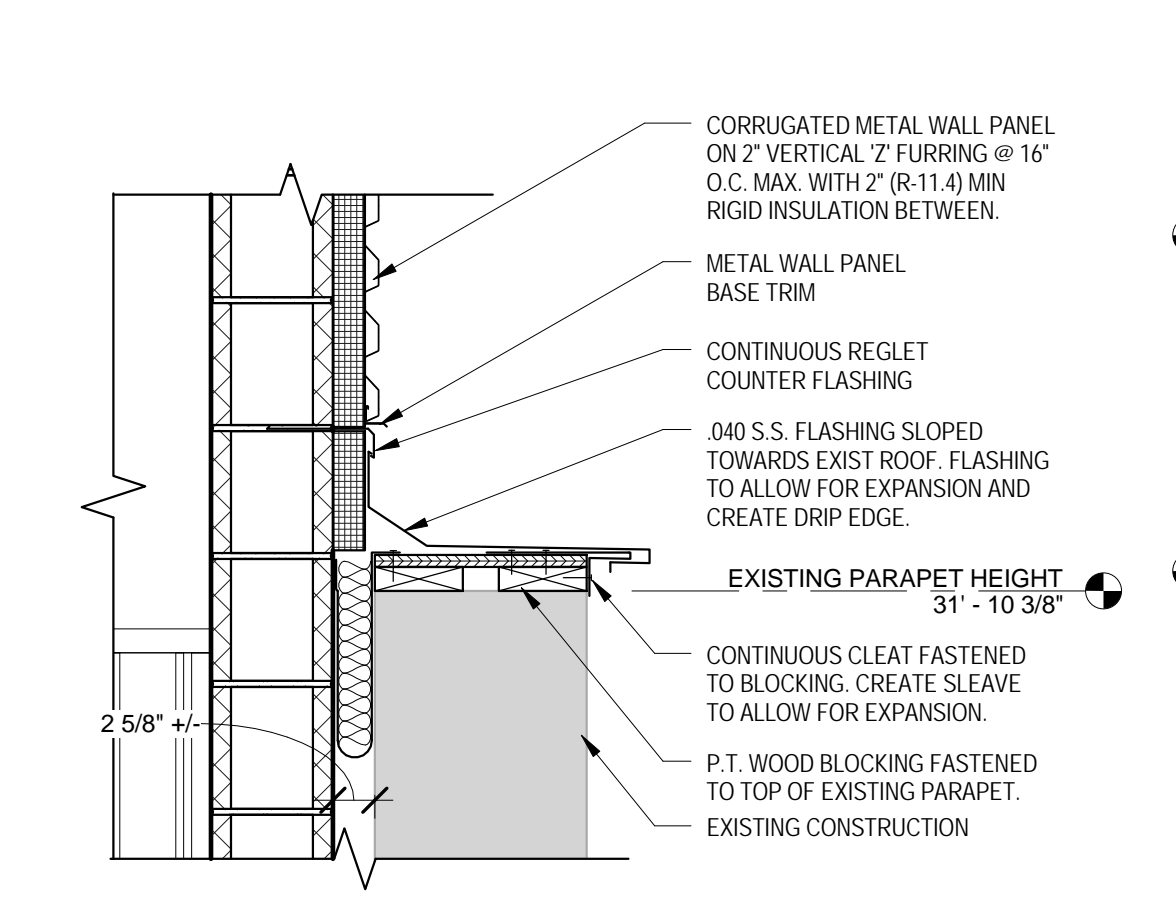
SECTION DETAILS

A-525

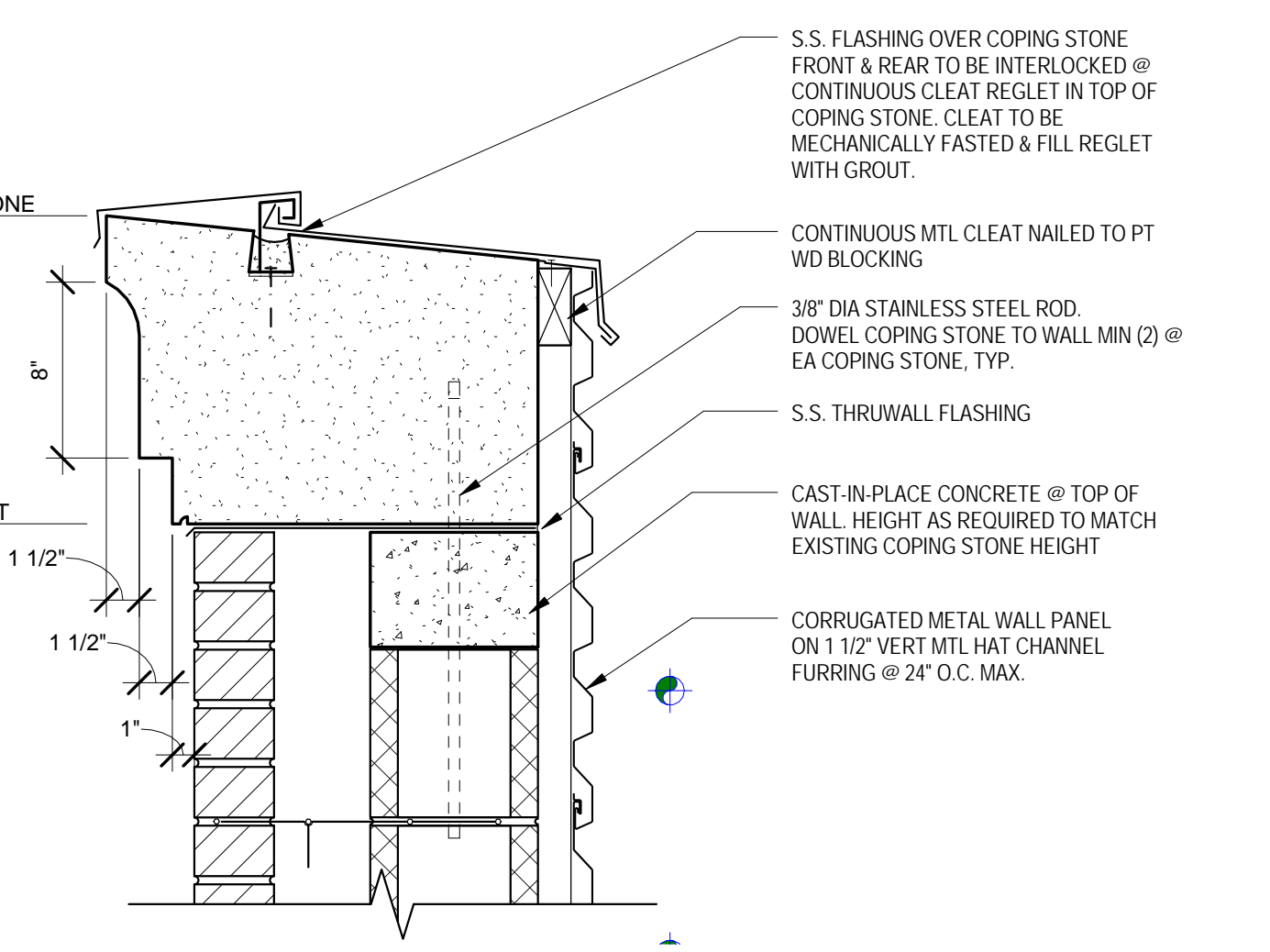
ISSUED FOR BIDDING



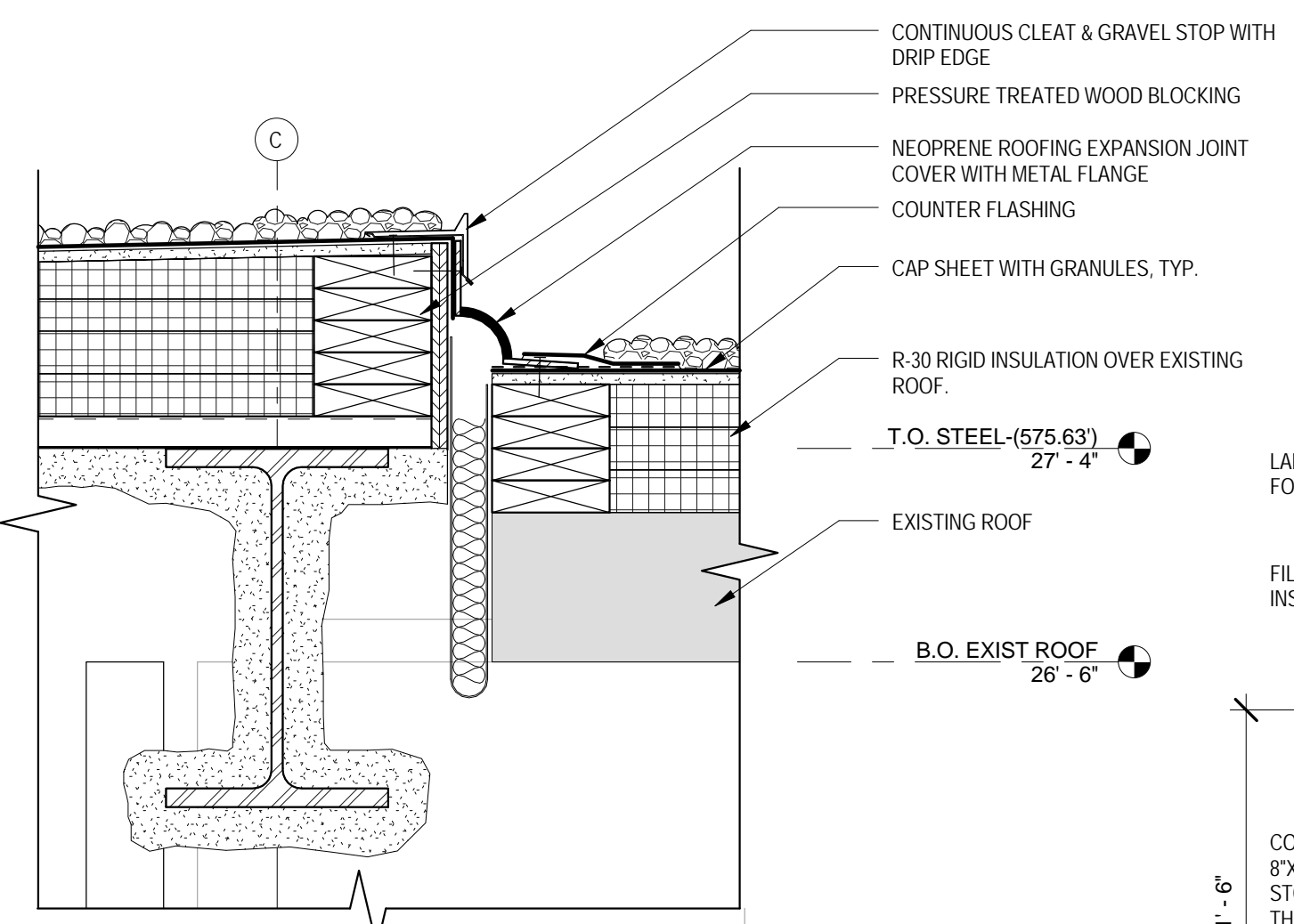
9 WALL SECTION
A-525 3/4" = 1'-0"



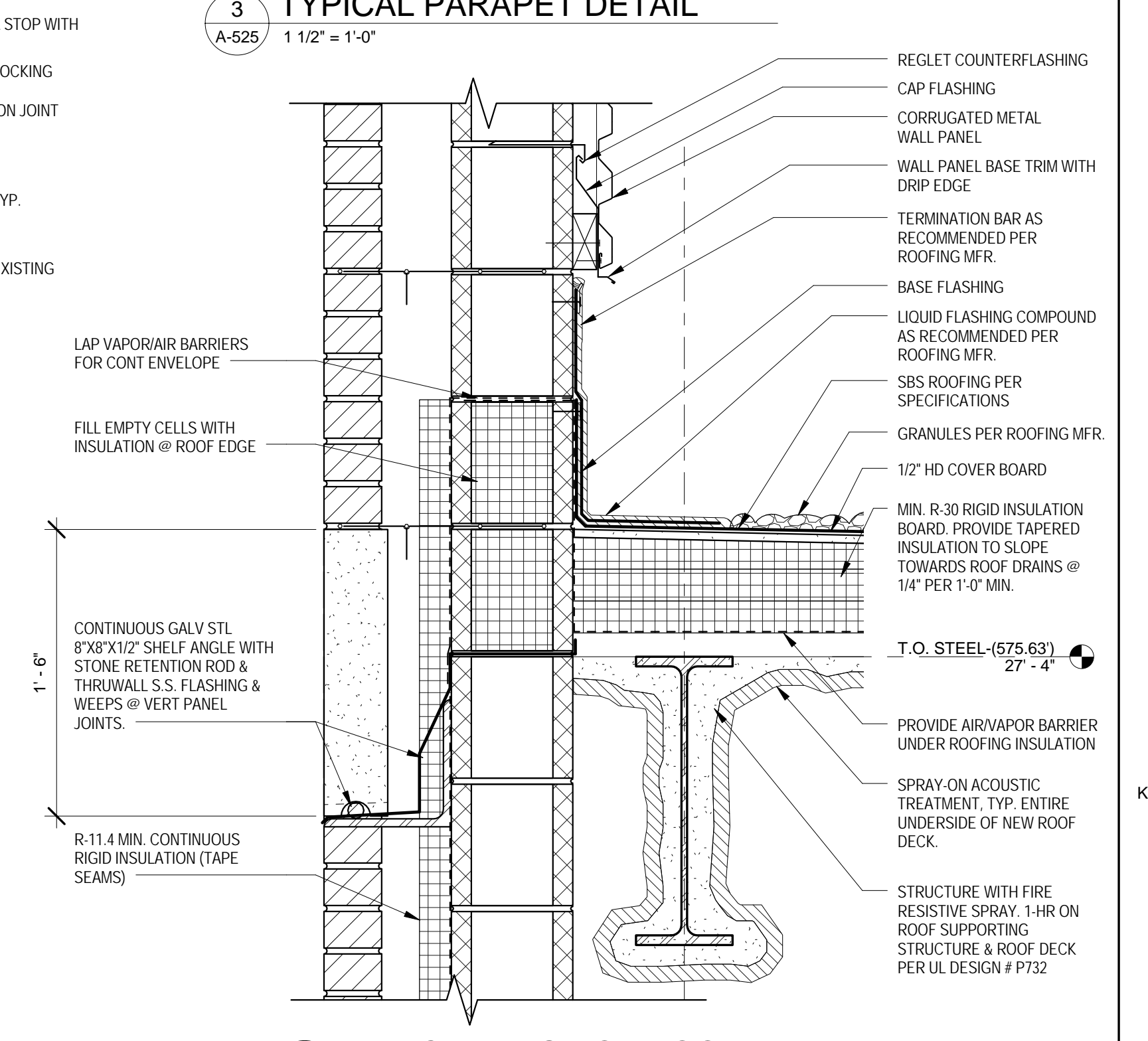
10 EXPANSION JOINT DETAIL
A-525 1" = 1'-0"



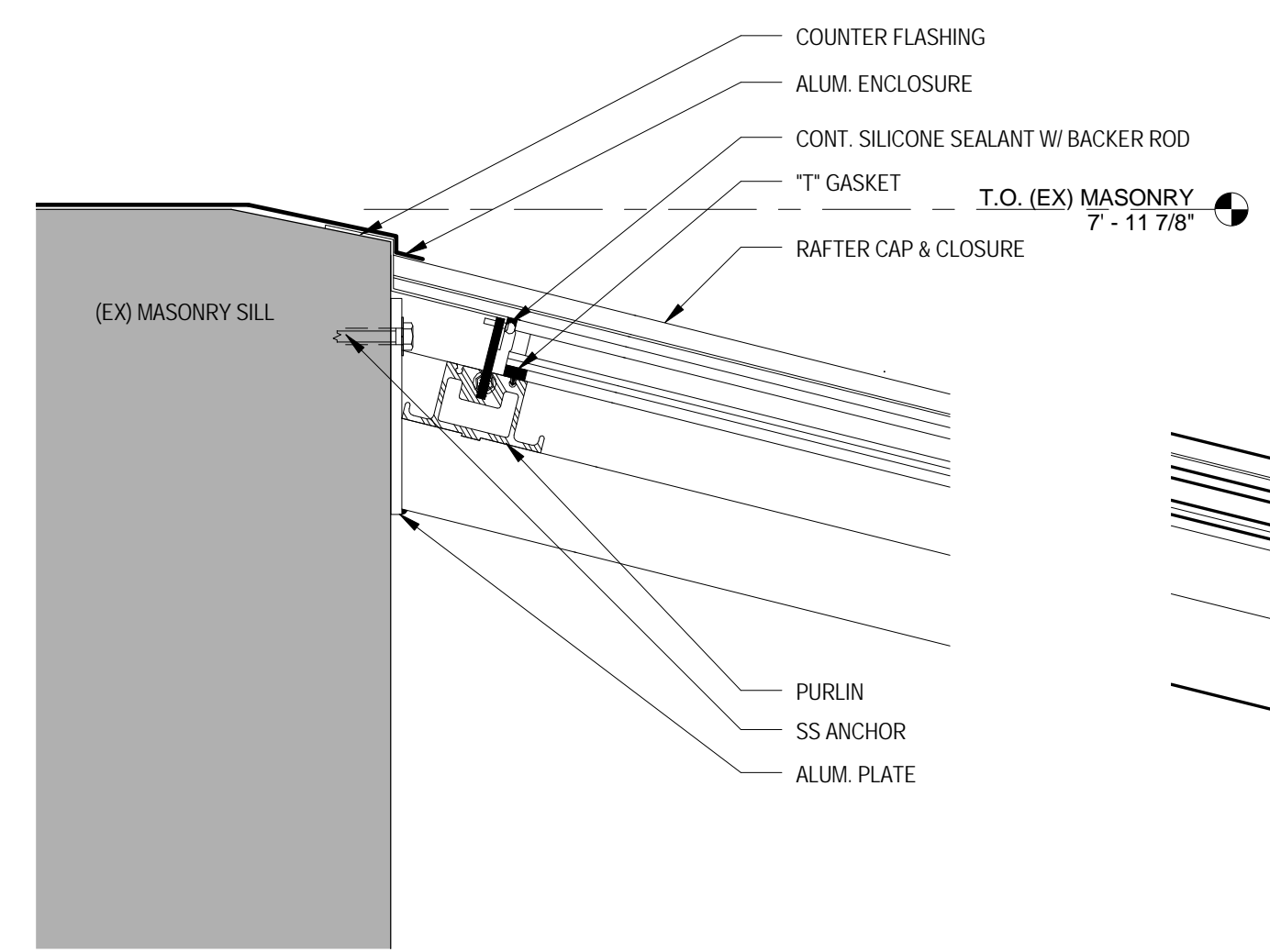
3 TYPICAL PARAPET DETAIL
A-525 1 1/2" = 1'-0"



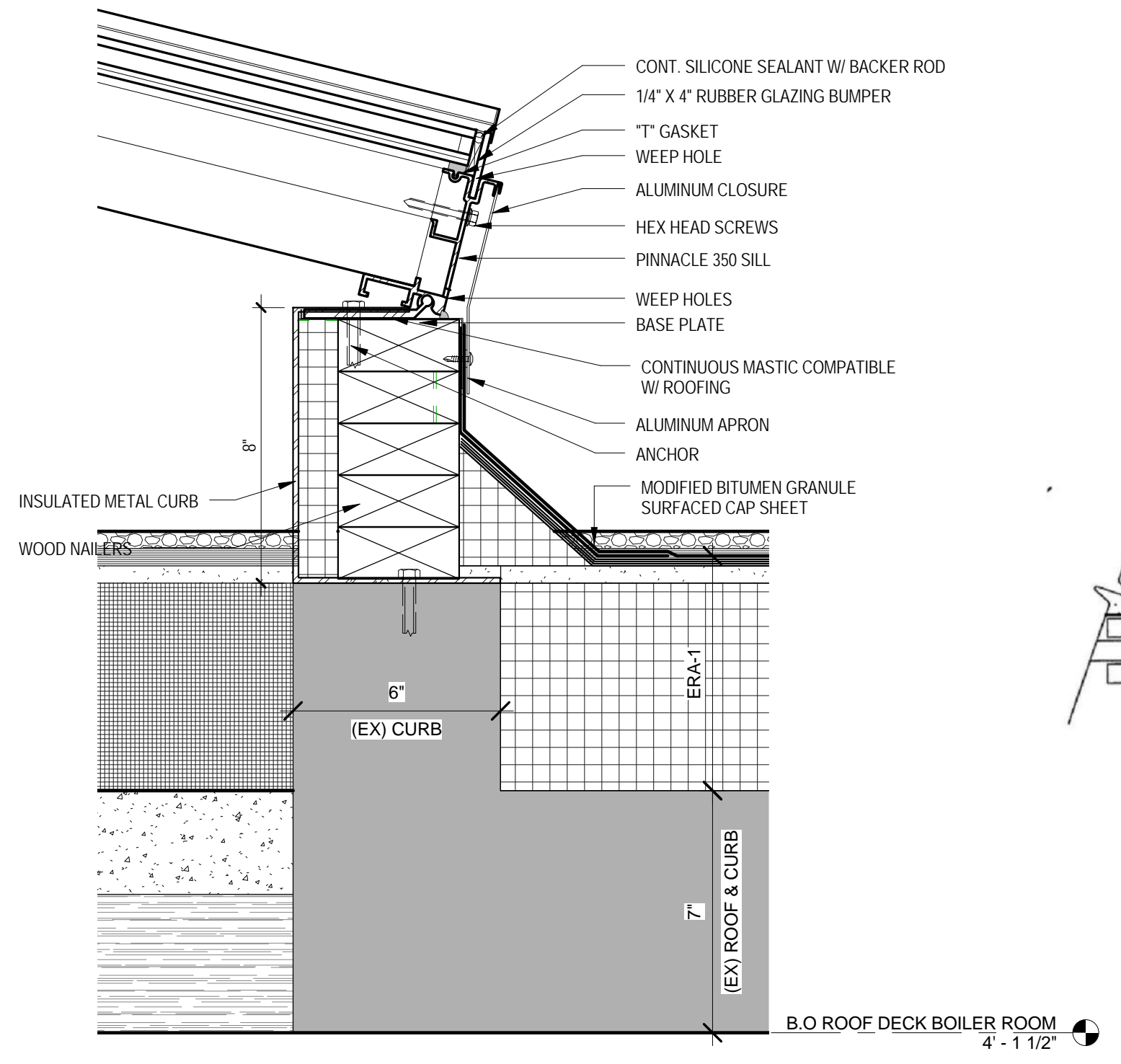
2 ROOF TO ROOF EXP
A-525 1 1/2" = 1'-0"



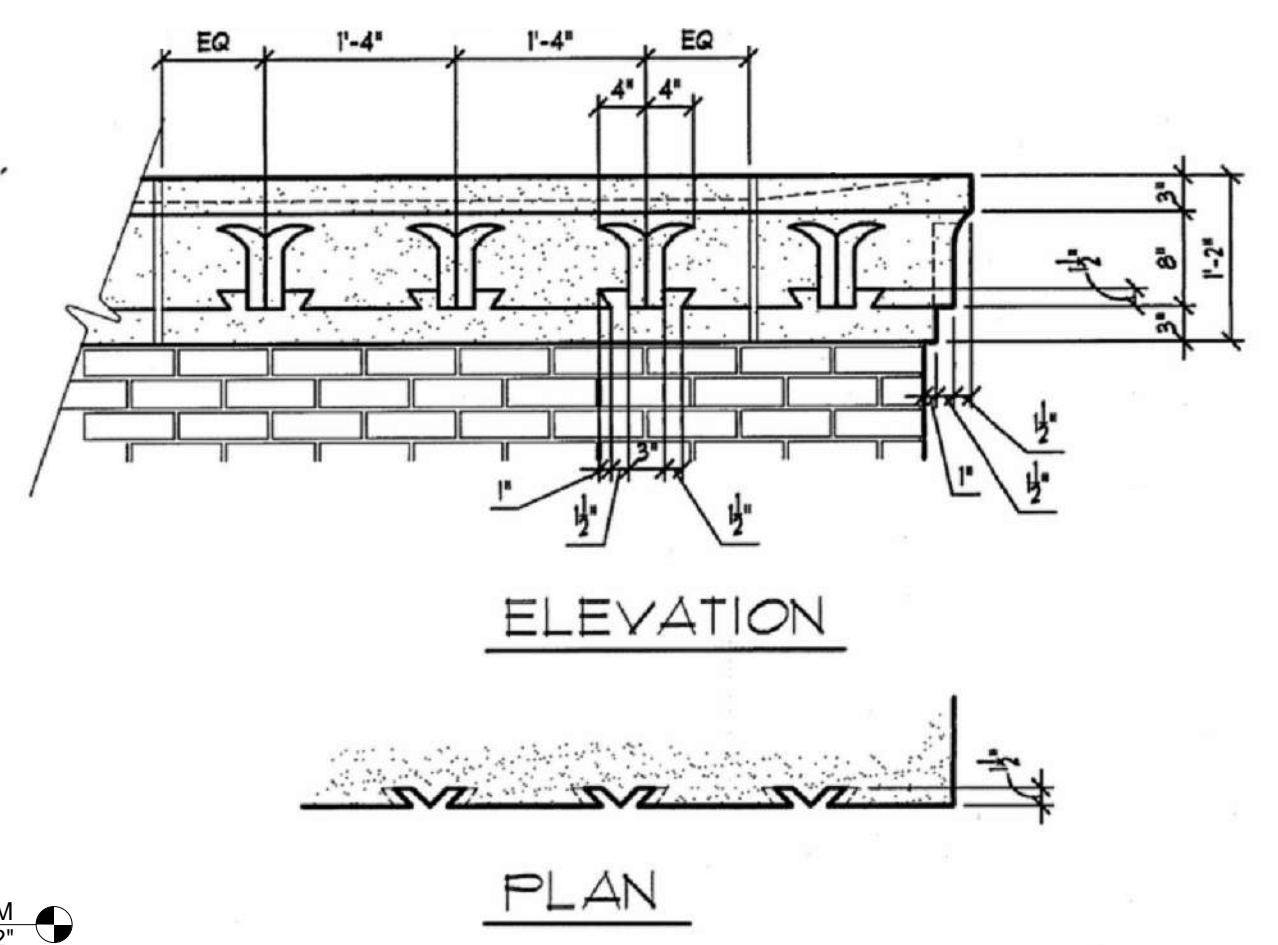
1 TYPICAL EDGE OF ROOF DETAIL
A-525 1 1/2" = 1'-0"



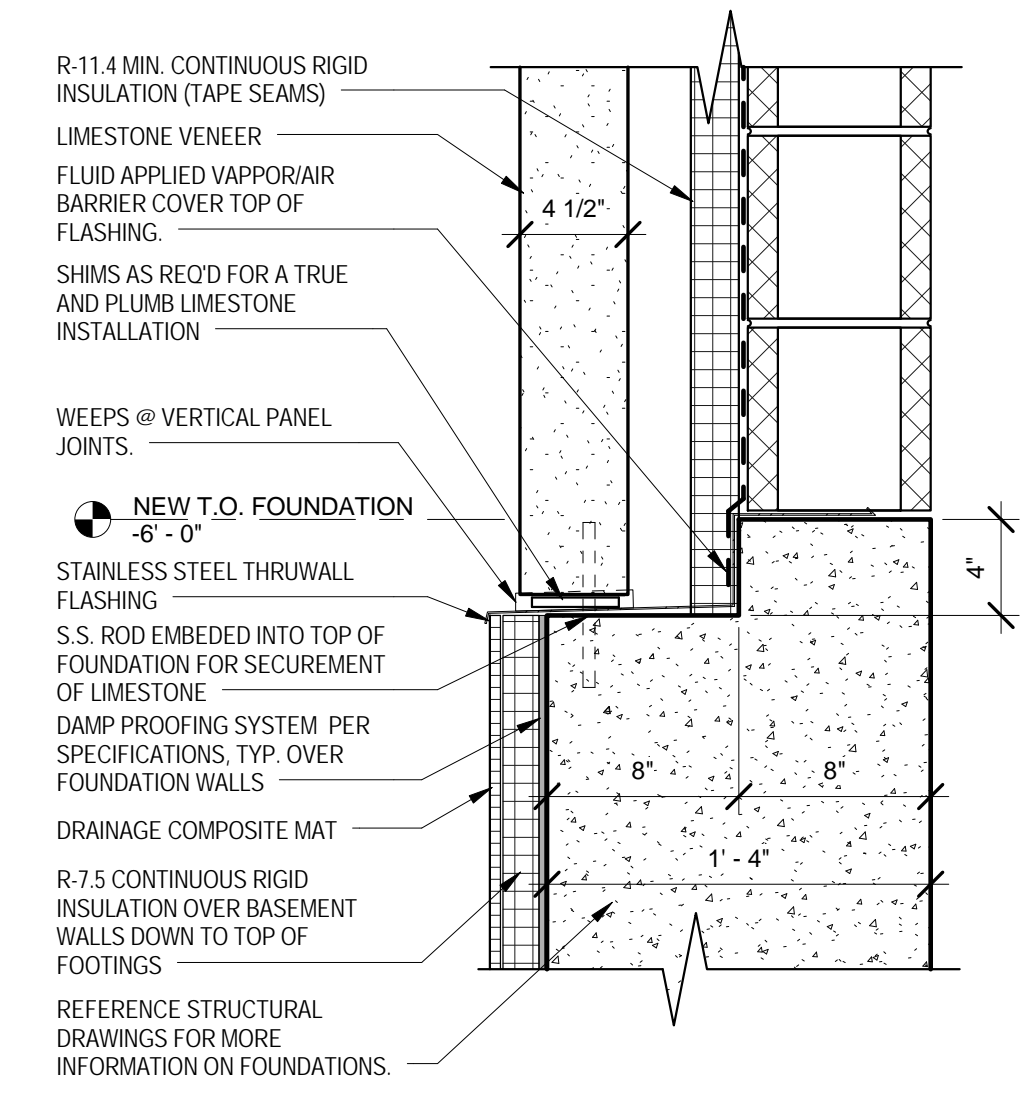
7 SKYLIGHT HEAD DETAIL
A-525 3" = 1'-0"



8 SKYLIGHT SILL DETAIL
A-525 3" = 1'-0"

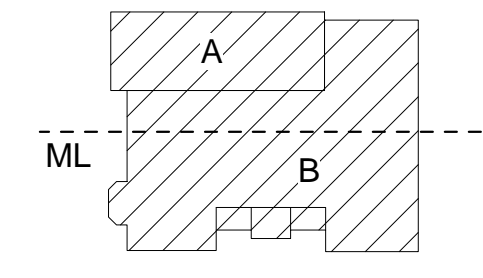


4 COPING STONE DETAIL
A-525 3/4" = 1'-0"



5 TYPICAL BASE OF WALL DETAIL
A-525 1 1/2" = 1'-0"

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

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DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
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REV. #	DESCRIPTION	DATE
2	BID ADDENDA #2	5/4/18

JOB NO.	1711
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CHECKED BY	Checker

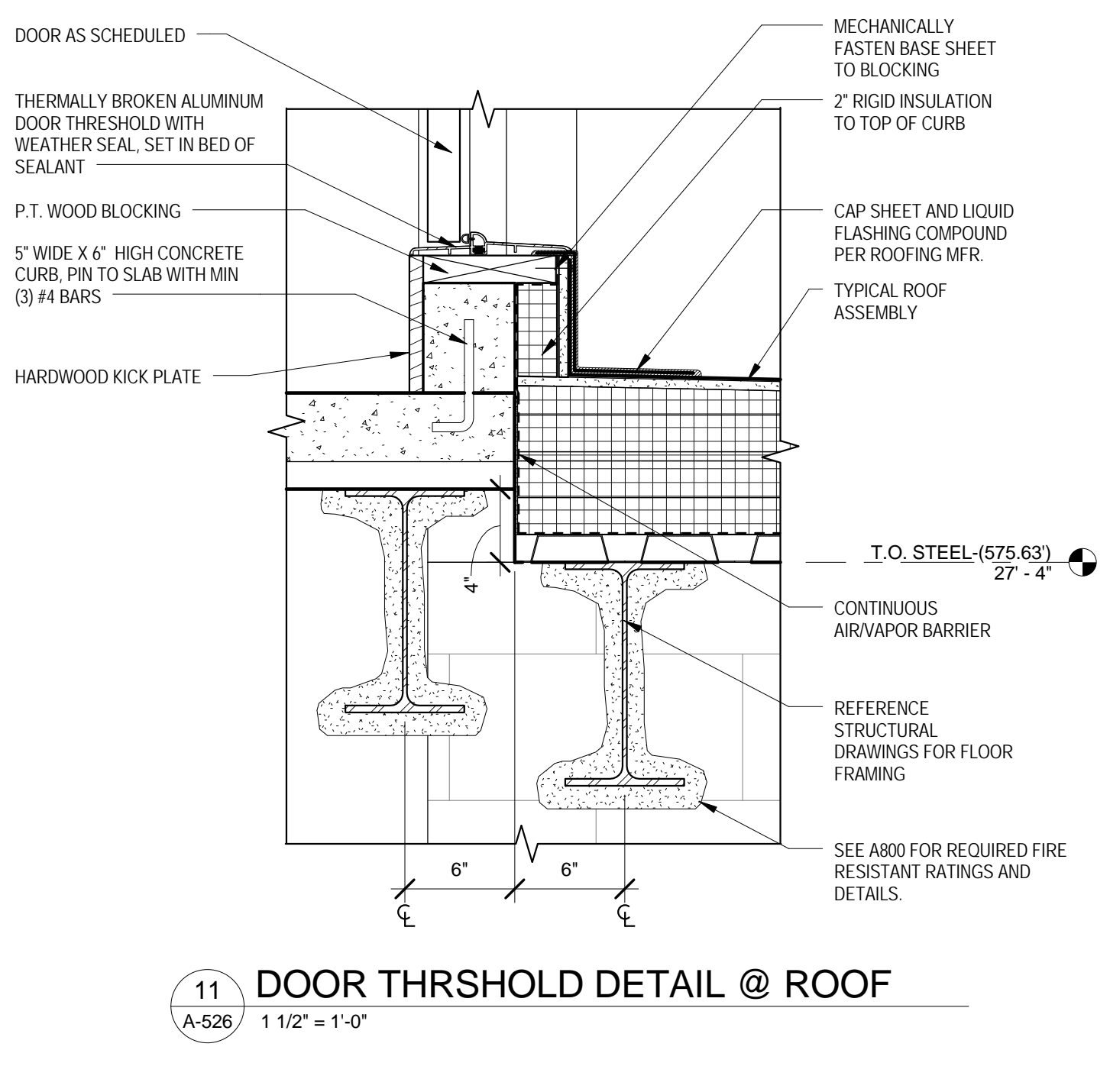
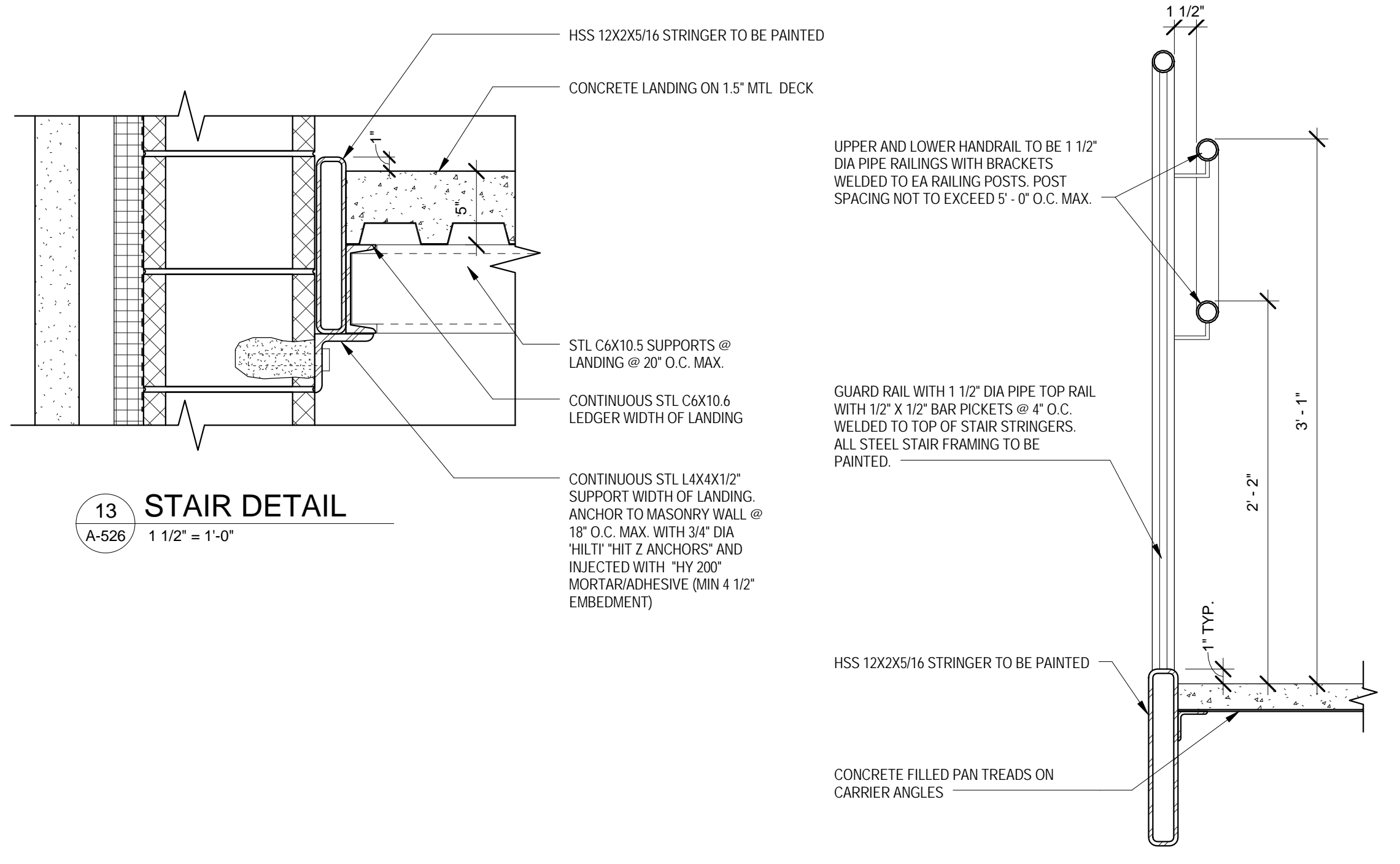
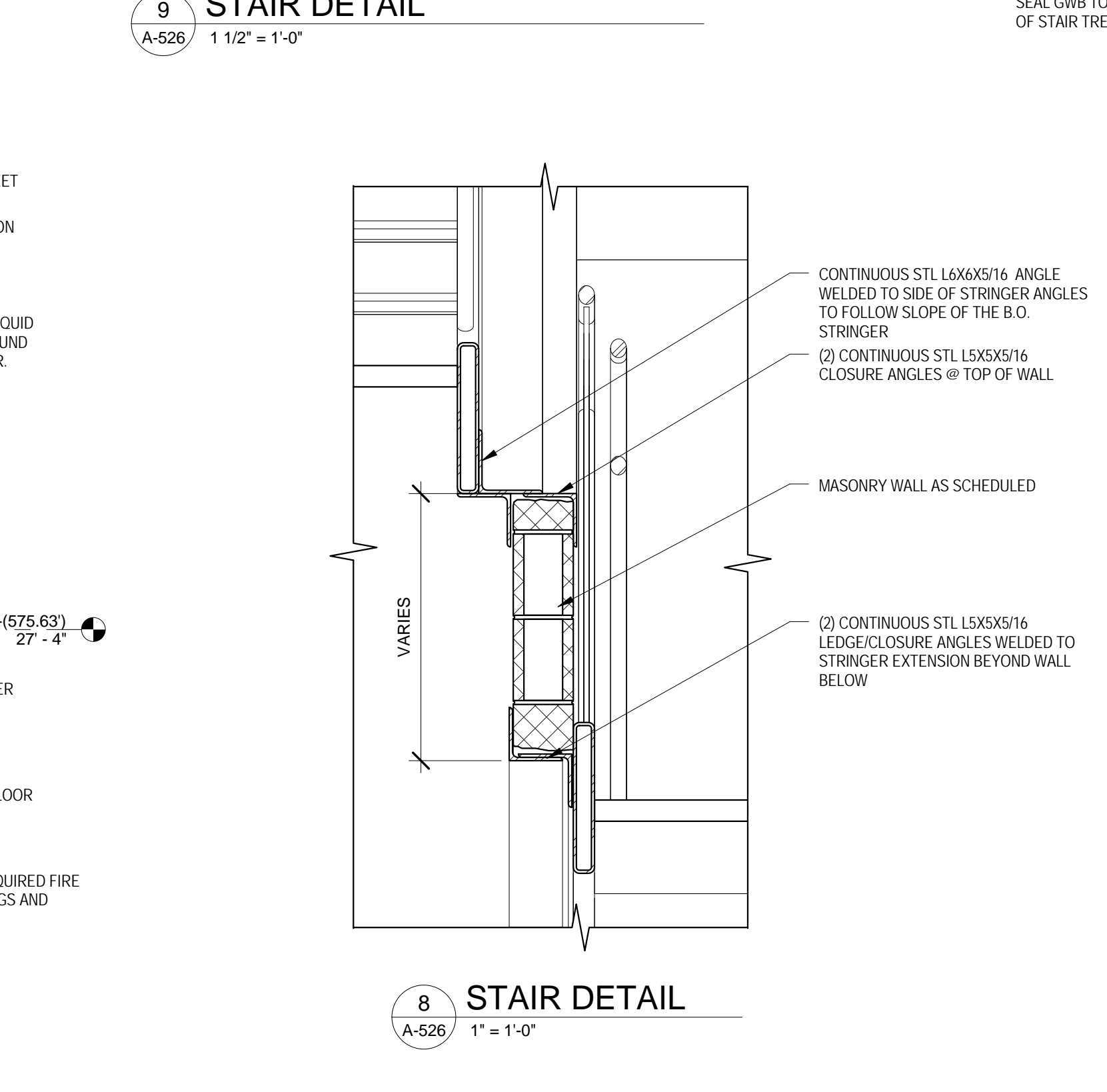
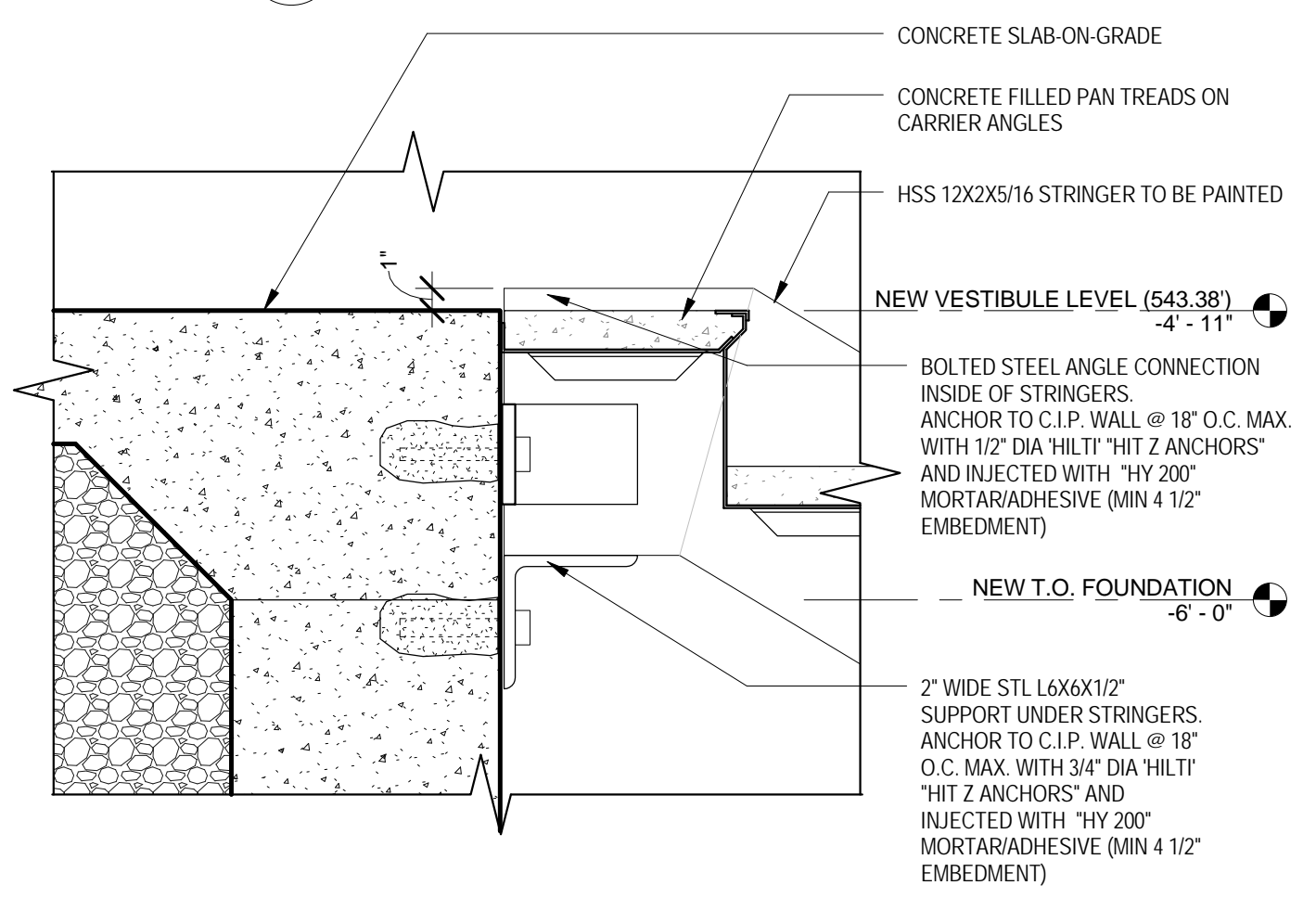
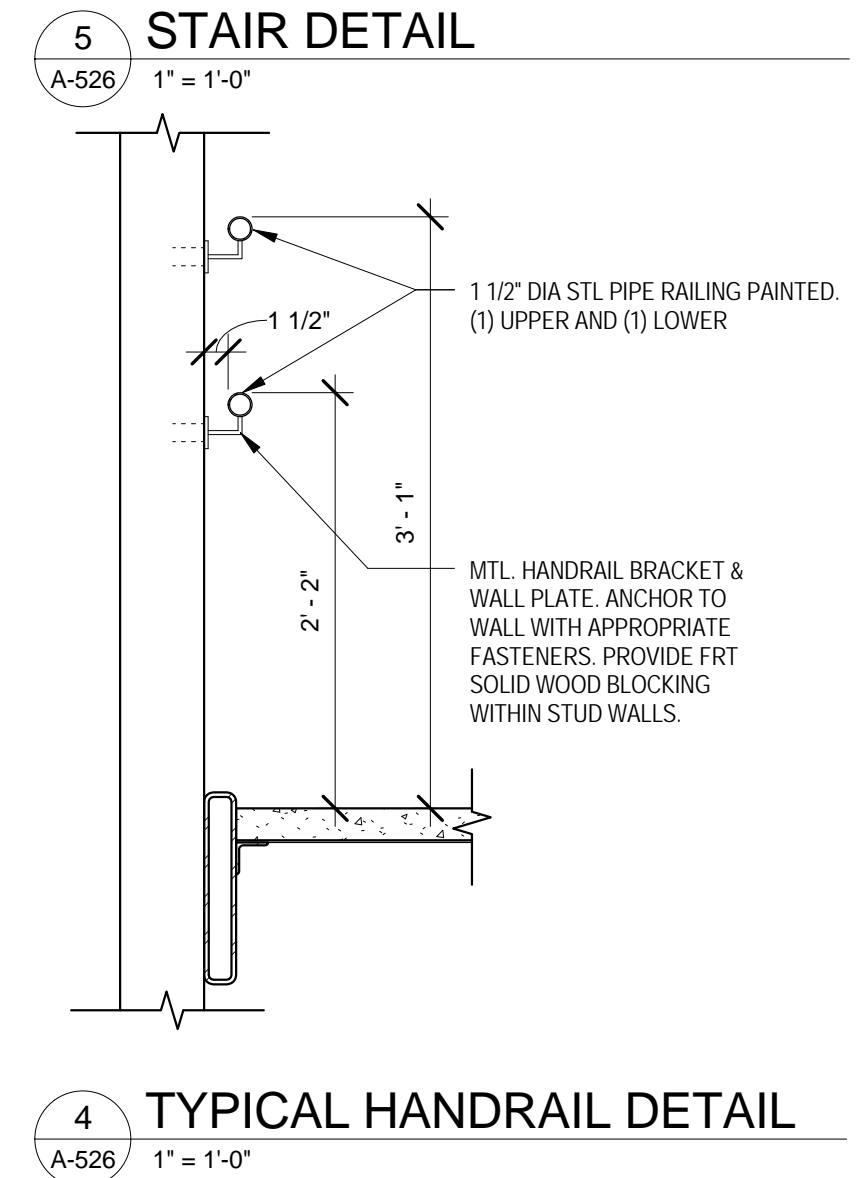
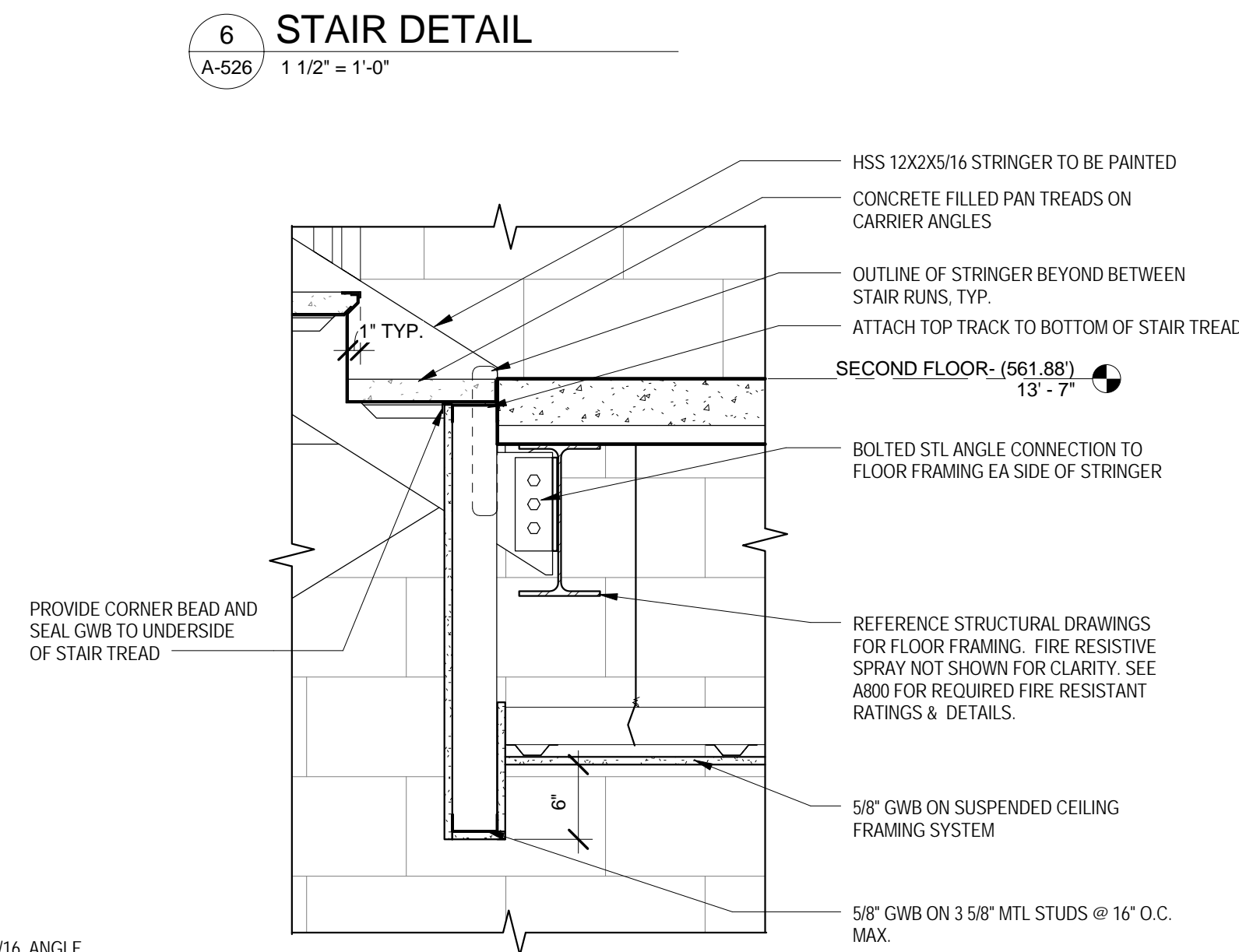
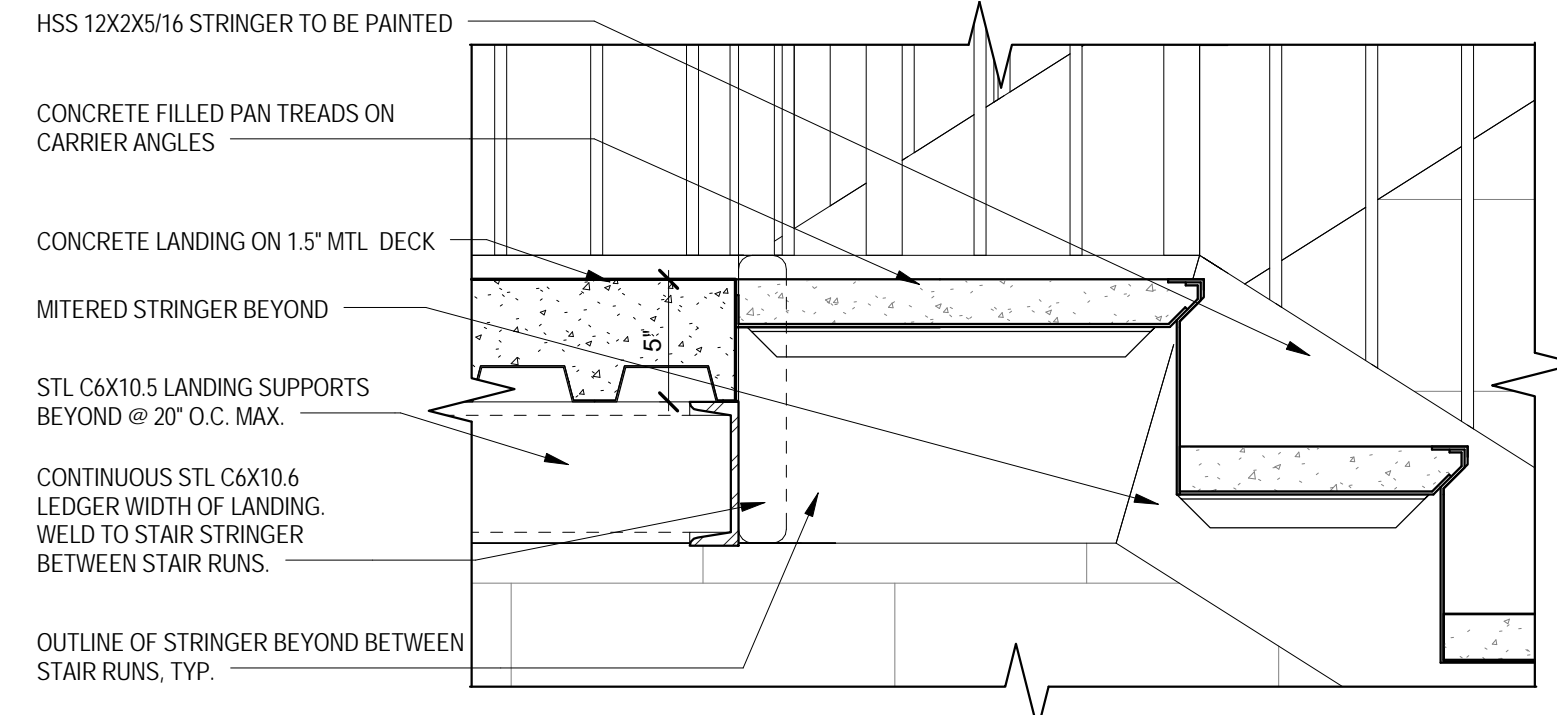
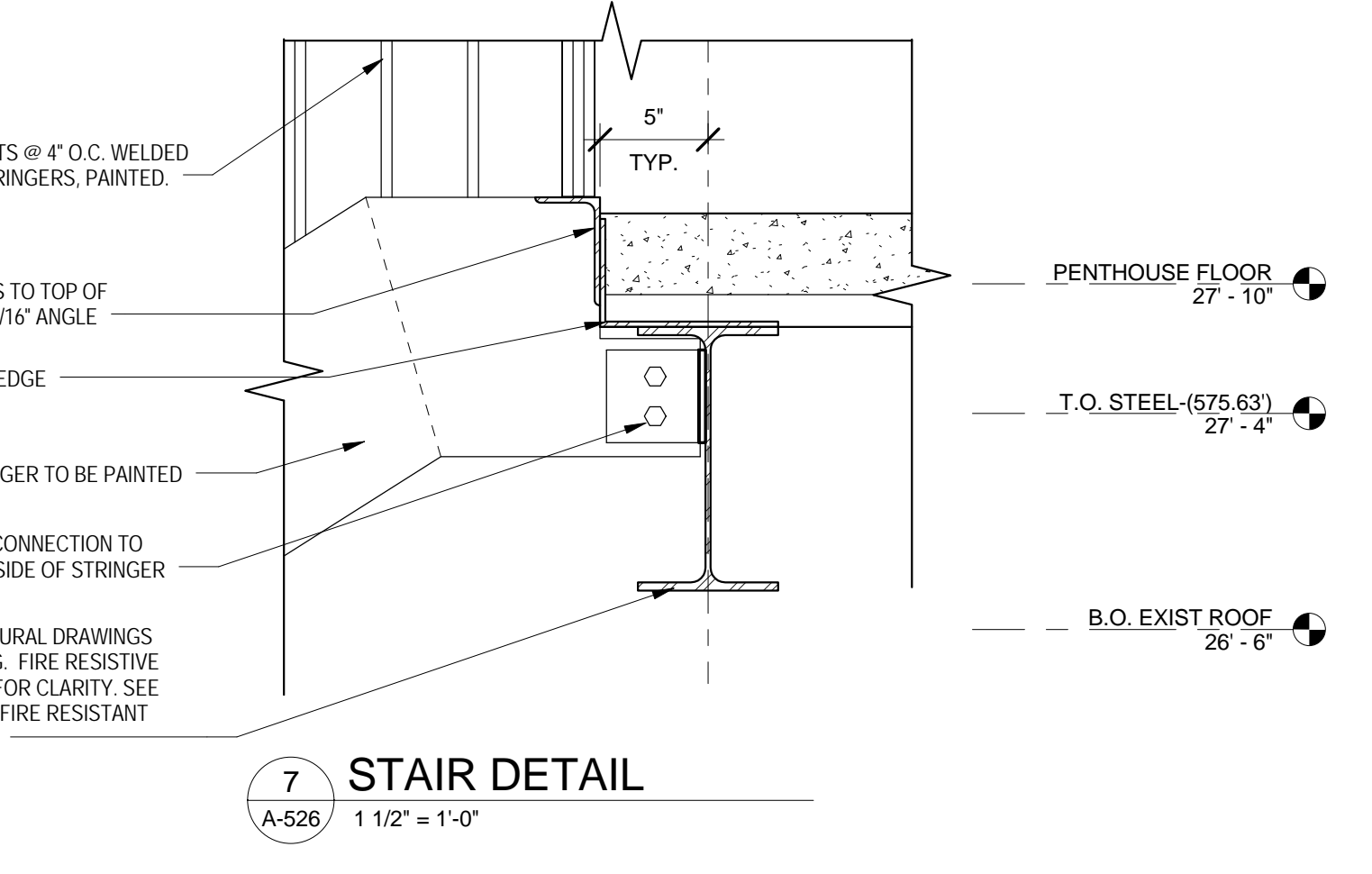
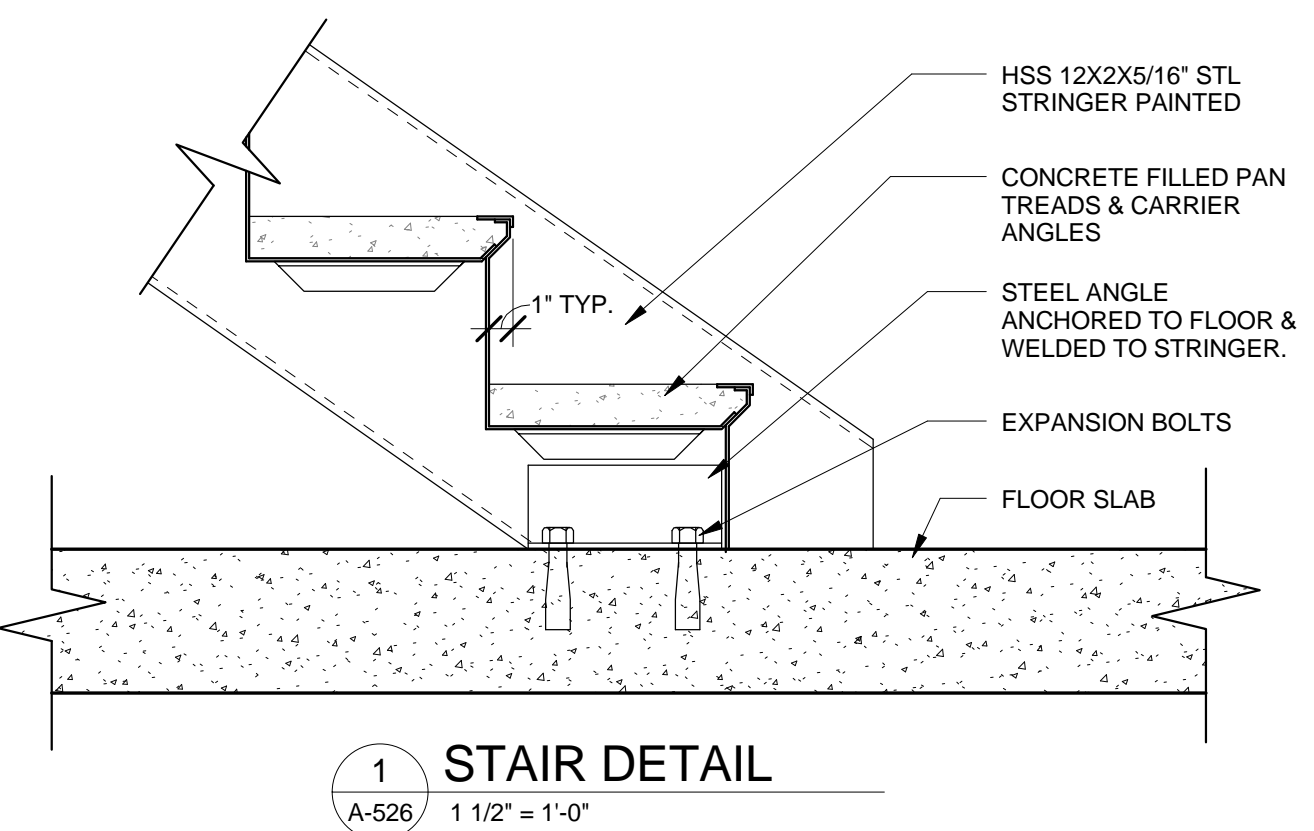
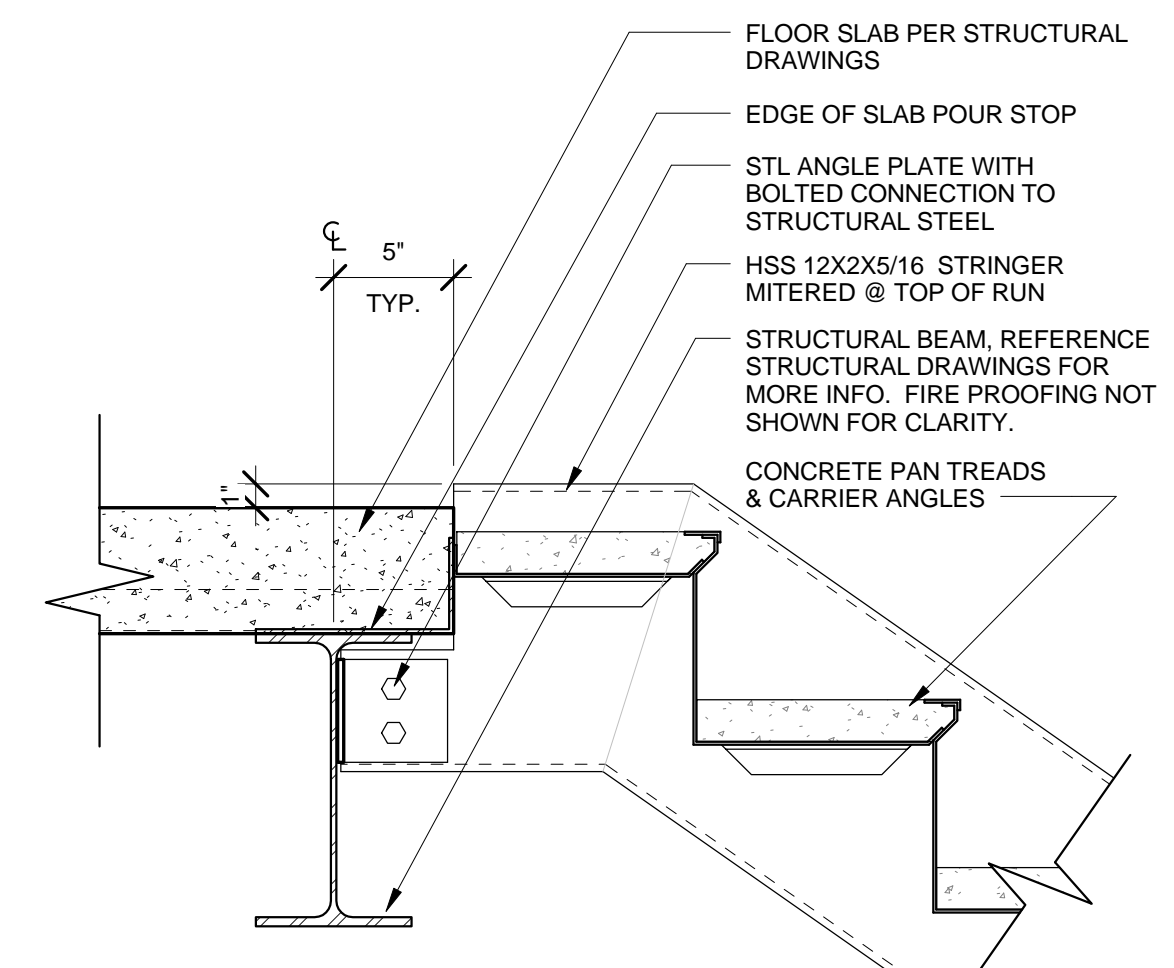
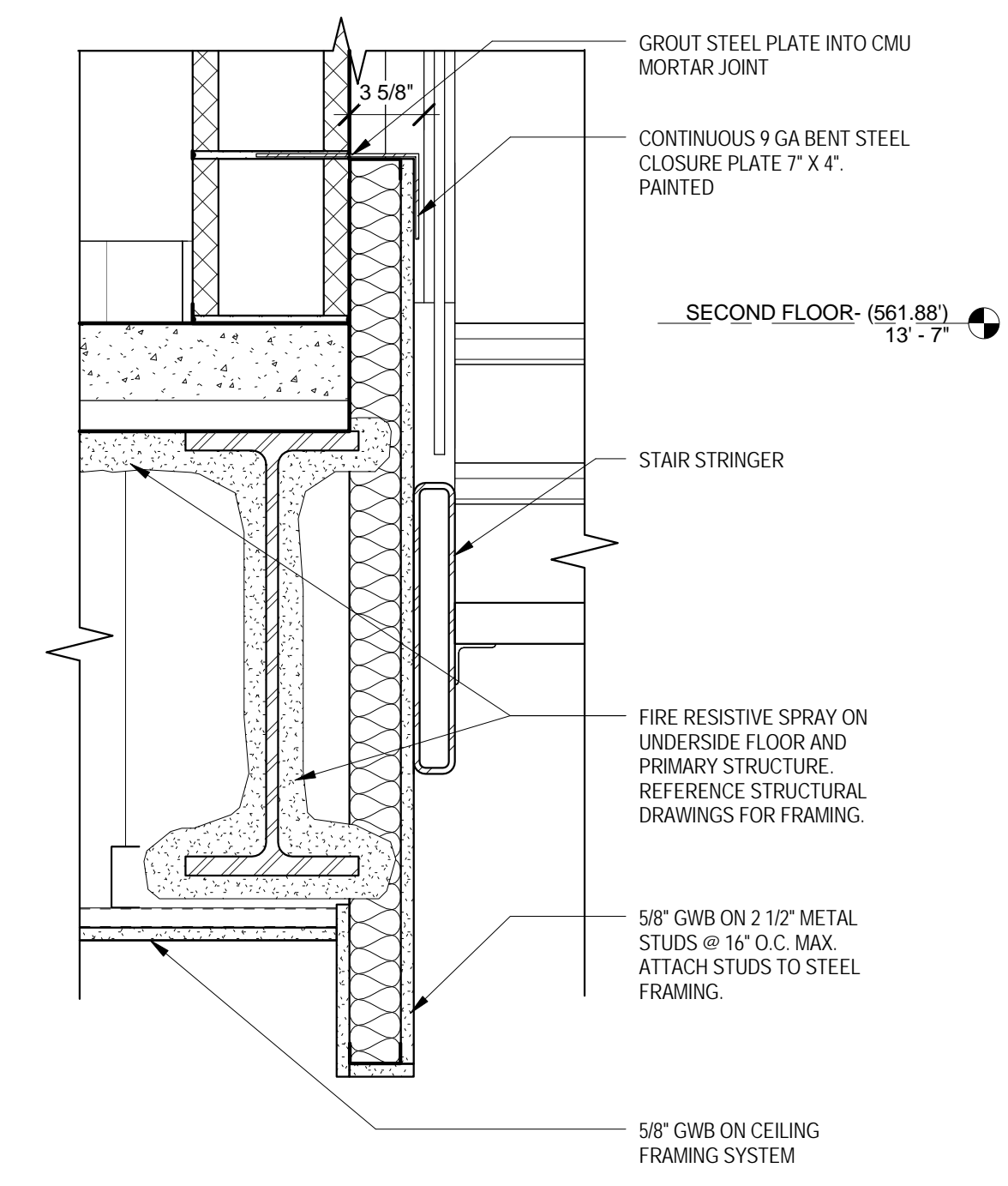
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DRAWING TITLE

STAIR AND SECTION DETAILS

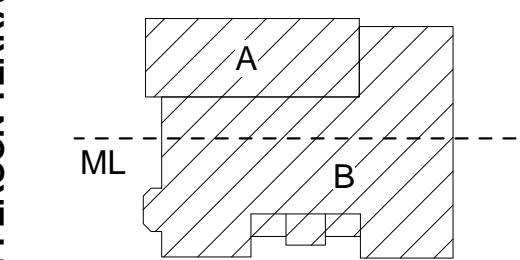
A-526

ISSUED FOR BIDDING





JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
George M. Forbes- Renovation, Alterations
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198 Dr Samuel McCree Way,
Rochester, NY 14611

REV. #	DESCRIPTION	DATE
2	BID ADDENDA #2	5/4/18

JOB NO.	1711
SCALE	1/4" = 1'-0"
ISSUE DATE	4/9/18
DRAWN BY	Author
CHECKED BY	Checker

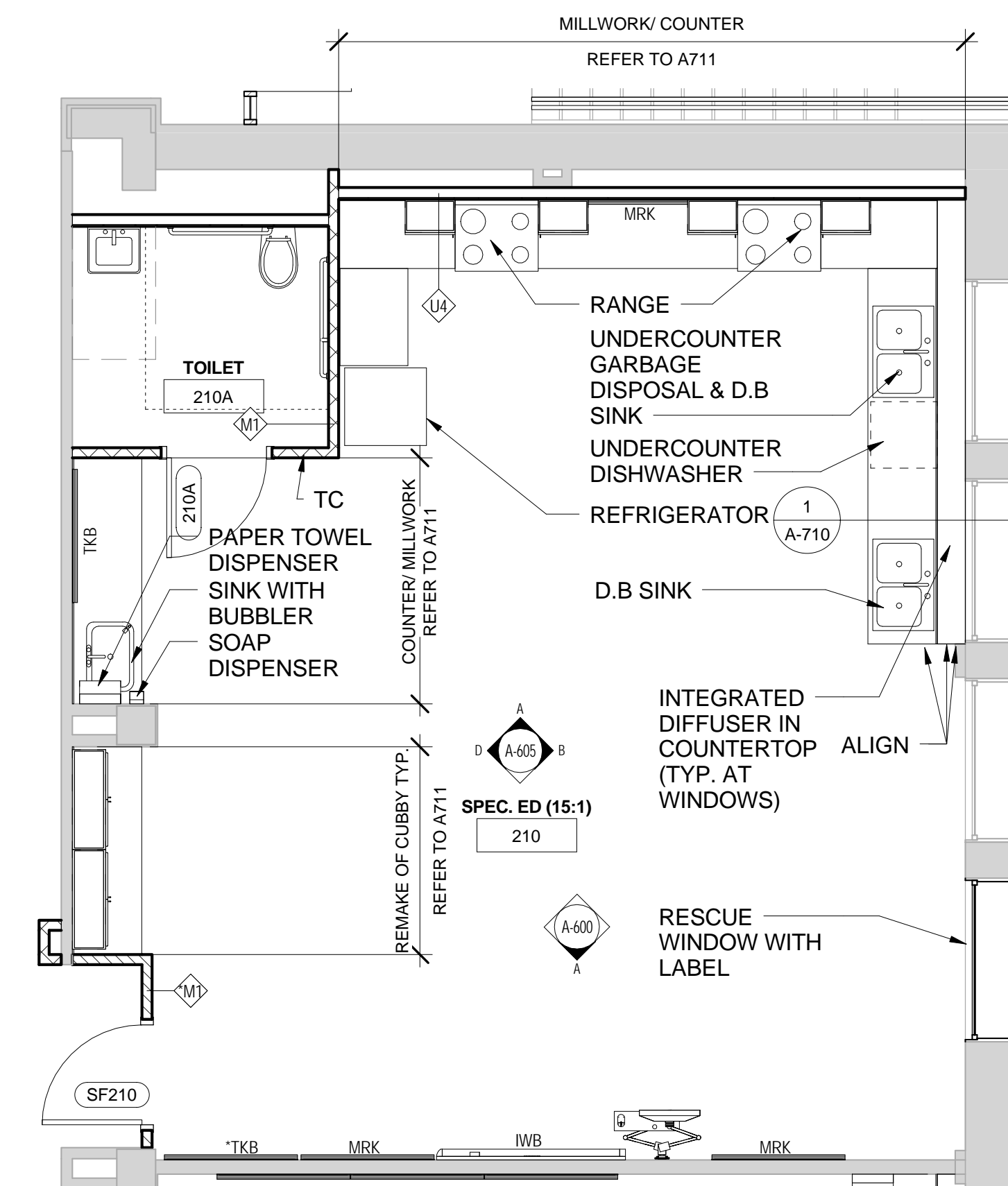
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DRAWING TITLE

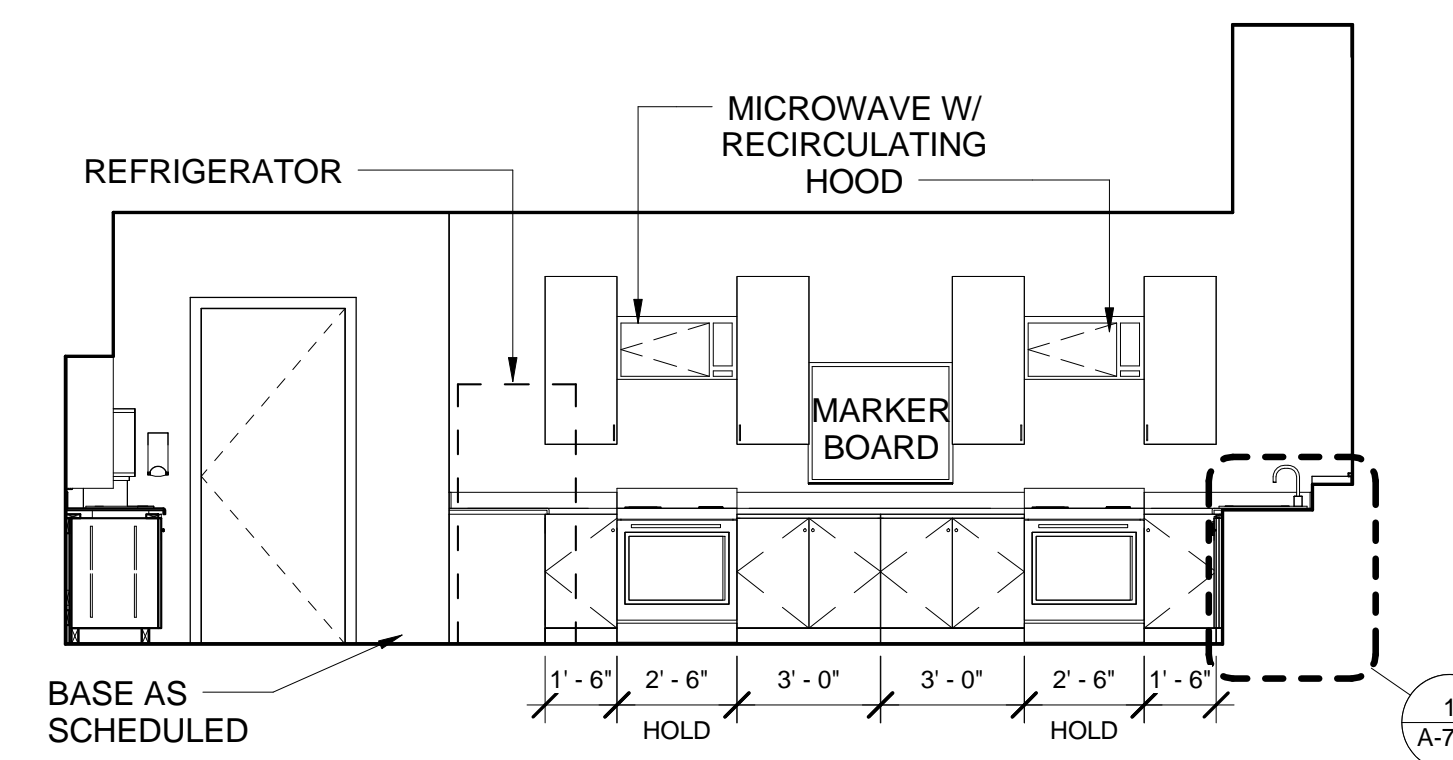
**SPED. LIFE SKILLS
PLANS AND
ELEVATIONS**

A-605

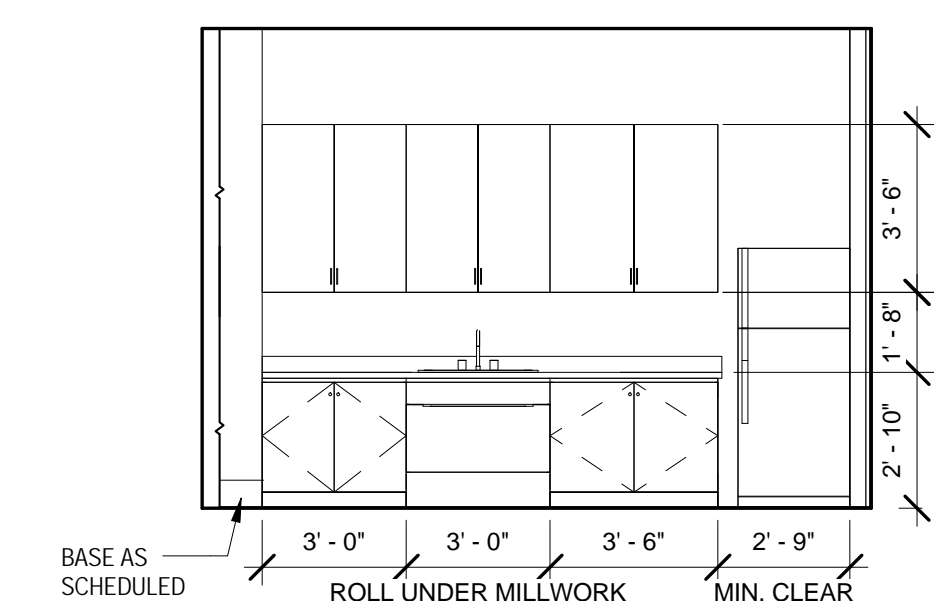
ISSUED FOR BIDDING



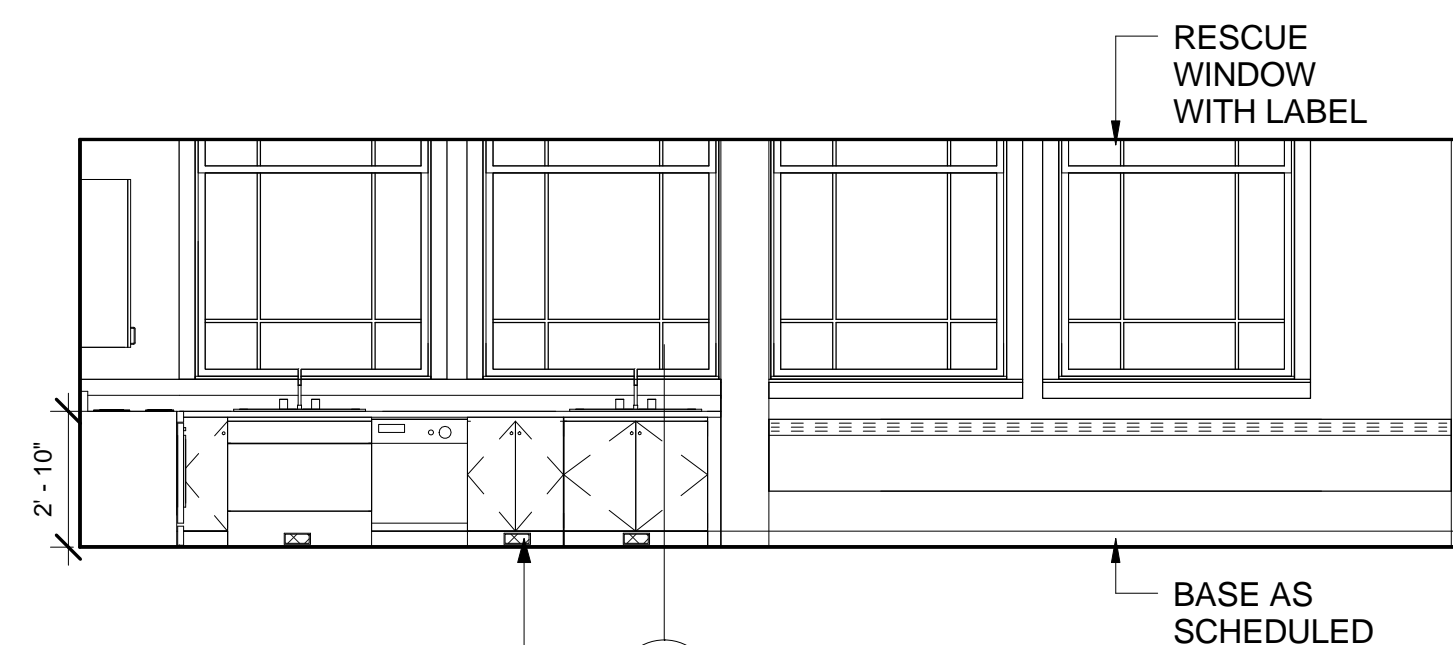
1
A-605 1/4" = 1'-0"



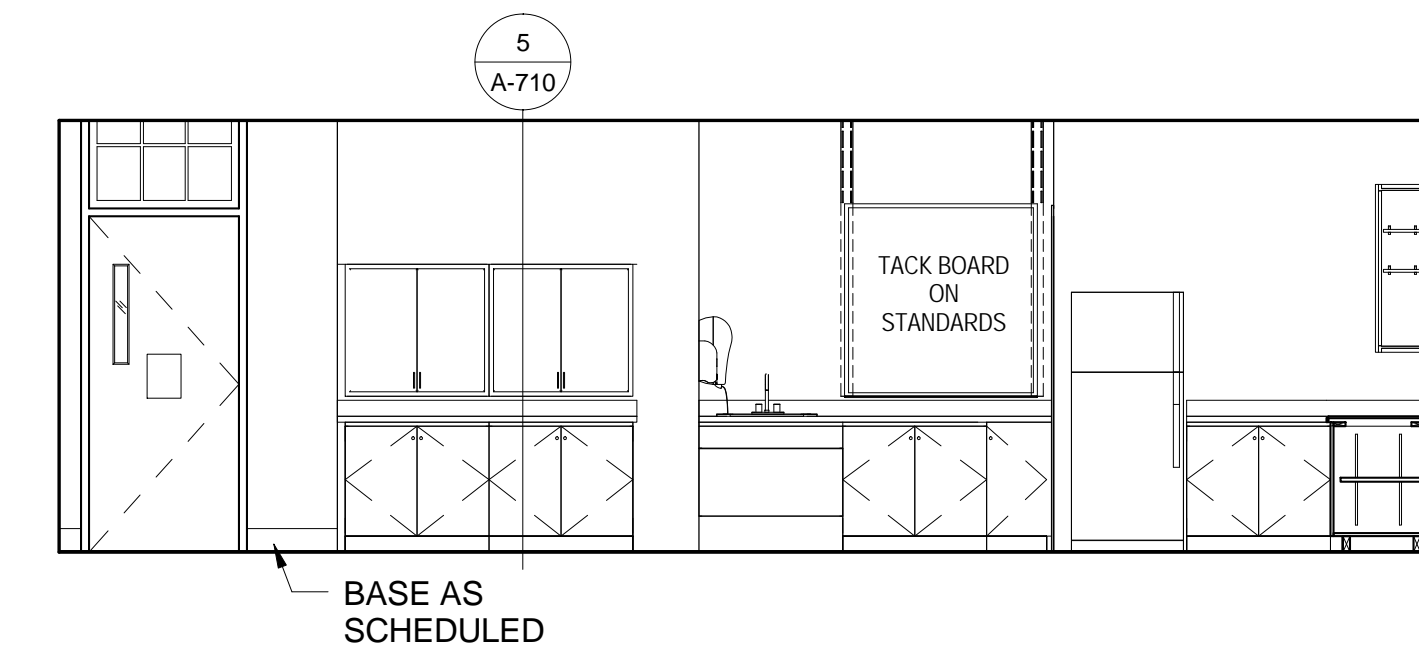
A
A-605 1/4" = 1'-0"



E
A-605 1/4" = 1'-0"



B
A-605 1/4" = 1'-0"



D
A-605 1/4" = 1'-0"

STUDENT ROOM FEATURES (REFER TO A600 FOR TYPICAL DETAILS)

TAG	EQUIPMENT
TC	TIME CLOCK
MRK/MKB	MARKER BOARD ON STANDARDS 4'X4'
MRKS	MARKER BOARD WITH STAFF LINES ON STANDARDS 4'X4'
TKB	TACK BOARD ON STANDARDS 4'X4'
FH	FLAG HOLDER
IWB	INTERACTIVE WHITE BOARD- TBD
PPS	PULL DOWN PROJECTOR SCREEN

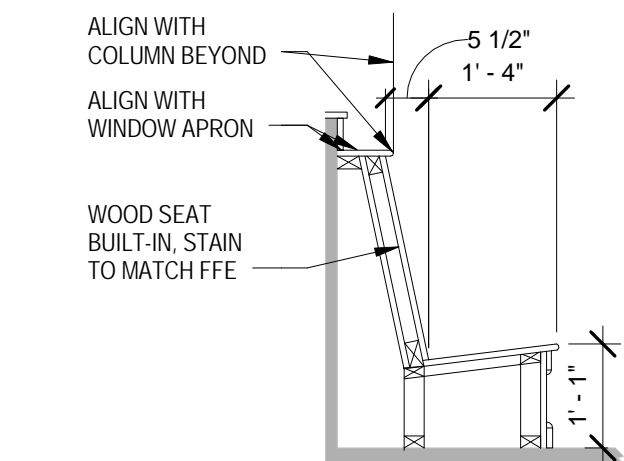
ADDITIONAL FEATURES (TAG)

- A600'S GENERAL NOTES
- REFER TO FINISH PLANS FOR ALL FINISHES.
 - REFER TO A100'S FOR NON TYPICAL CLASSROOM DIFFERENCES.
 - REFER TO A 600 SCHEDULE FOR DOOR AND HARDWARE INFORMATION.
 - REFER TO A 600 FOR TYPICAL MOUNTING HEIGHTS.
 - PATCH/REPAIR FLOOR, DECK, WALL SURFACE & PREPARE FOR NEW FINISH. REFER TO MEP DEMOLITION DRAWINGS FOR ADDITIONAL DETAIL.
 - SHEET A-600'S REFERS TO PATCHING AND TYPICAL EQUIPMENT/ SYSTEMS FOR ALL ROOMS. ALL NOTES ARE APPLIED TYPICALLY THROUGHOUT THE BUILDING, UNLESS OTHERWISE SPECIFIED.

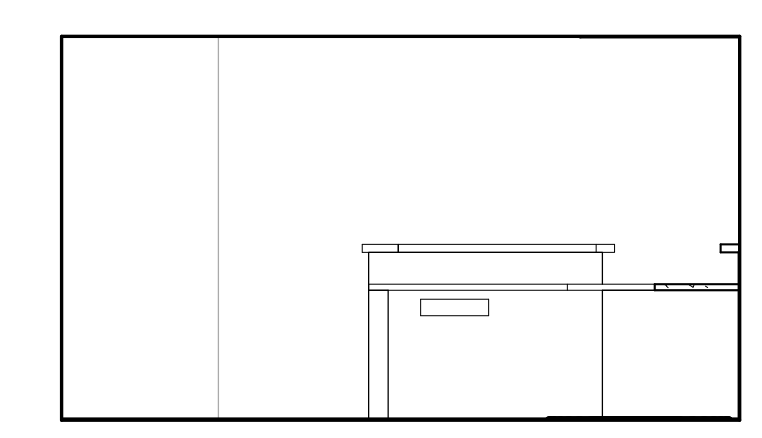
- A600'S GENERAL NOTES**
- REFER TO FINISH PLANS FOR ALL FINISHES
 - REFER TO A100'S FOR NON TYPICAL CLASSROOM DIFFERENCES
 - REFER TO DOOR SCHEDULE FOR DOOR AND HARDWARE INFORMATION
 - REFER TO A-600 FOR TYPICAL MOUNTING HEIGHTS
 - PATCH, REPAIR FLOOR, DECK, WALL SURFACE & PREPARE FOR NEW FINISH. REFER TO MEP DEMOLITION DRAWINGS FOR ADDITIONAL DETAIL.
 - SHEET A-600 IS REFERS TO PATCHING AND TYPICAL EQUIPMENT SYSTEMS FOR ALL ROOMS. ALL NOTES ARE APPLIED TYPICALLY THROUGHOUT THE BUILDING, UNLESS OTHERWISE SPECIFIED.

STUDENT ROOM FEATURES (REFER TO A600 FOR TYPICAL DETAILS)	
TAG	EQUIPMENT
TC	TIME CLOCK
MRK/MB	MARKER BOARD ON STANDARDS 4'X4'
MRKS	MARKER BOARD WITH STAFF LINES ON STANDARDS 4'X4'
TKB	TACK BOARD ON STANDARDS 4'X4'
FH	FLAG HOLDER
IWB	INTERACTIVE WHITE BOARD- TBD
PPS	PULL DOWN PROJECTOR SCREEN

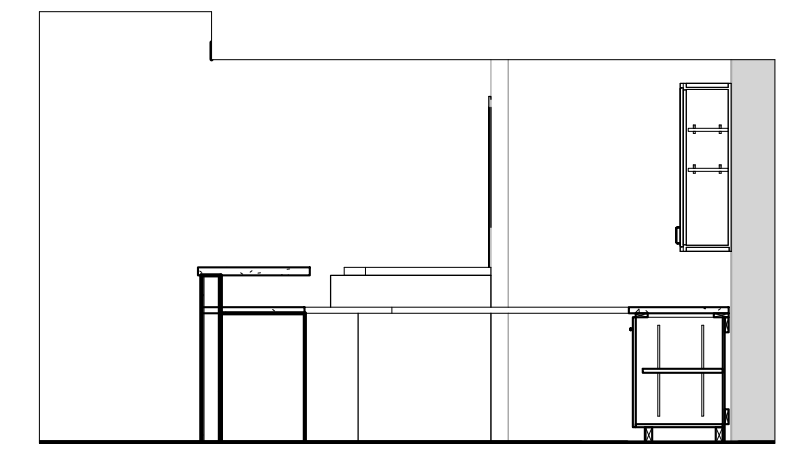
-ADDITIONAL FEATURES (TAG)



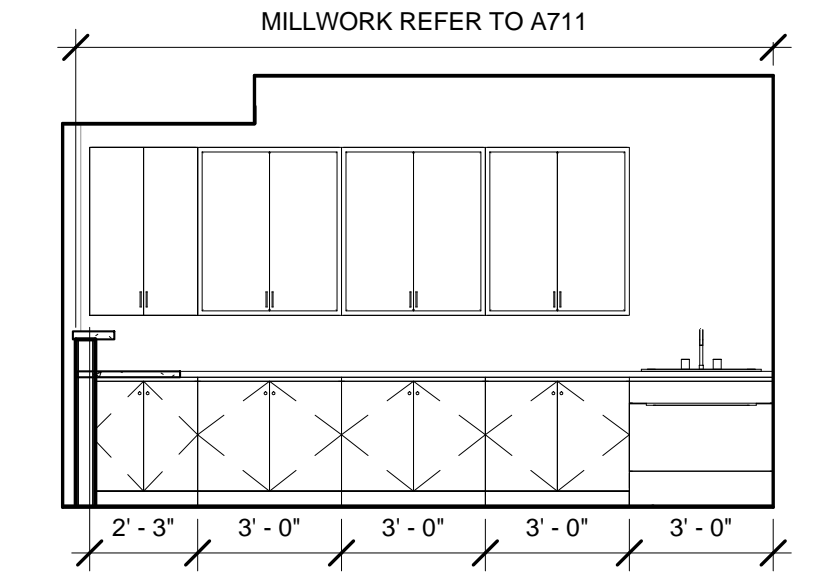
5 WOOD BENCH
A-606 1/2" = 1'-0"



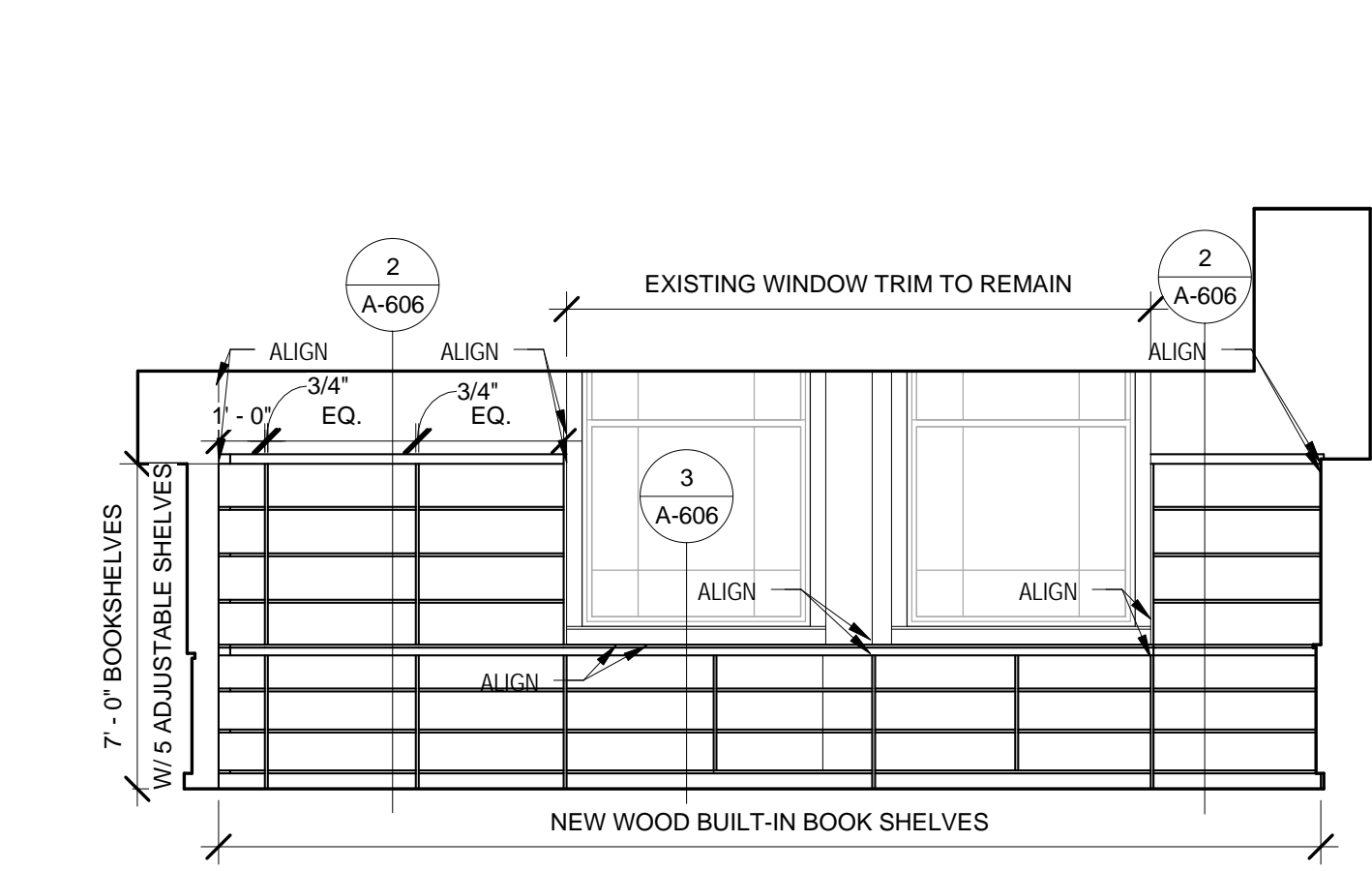
7 CIRCULATION DESK
A-606 1/4" = 1'-0"



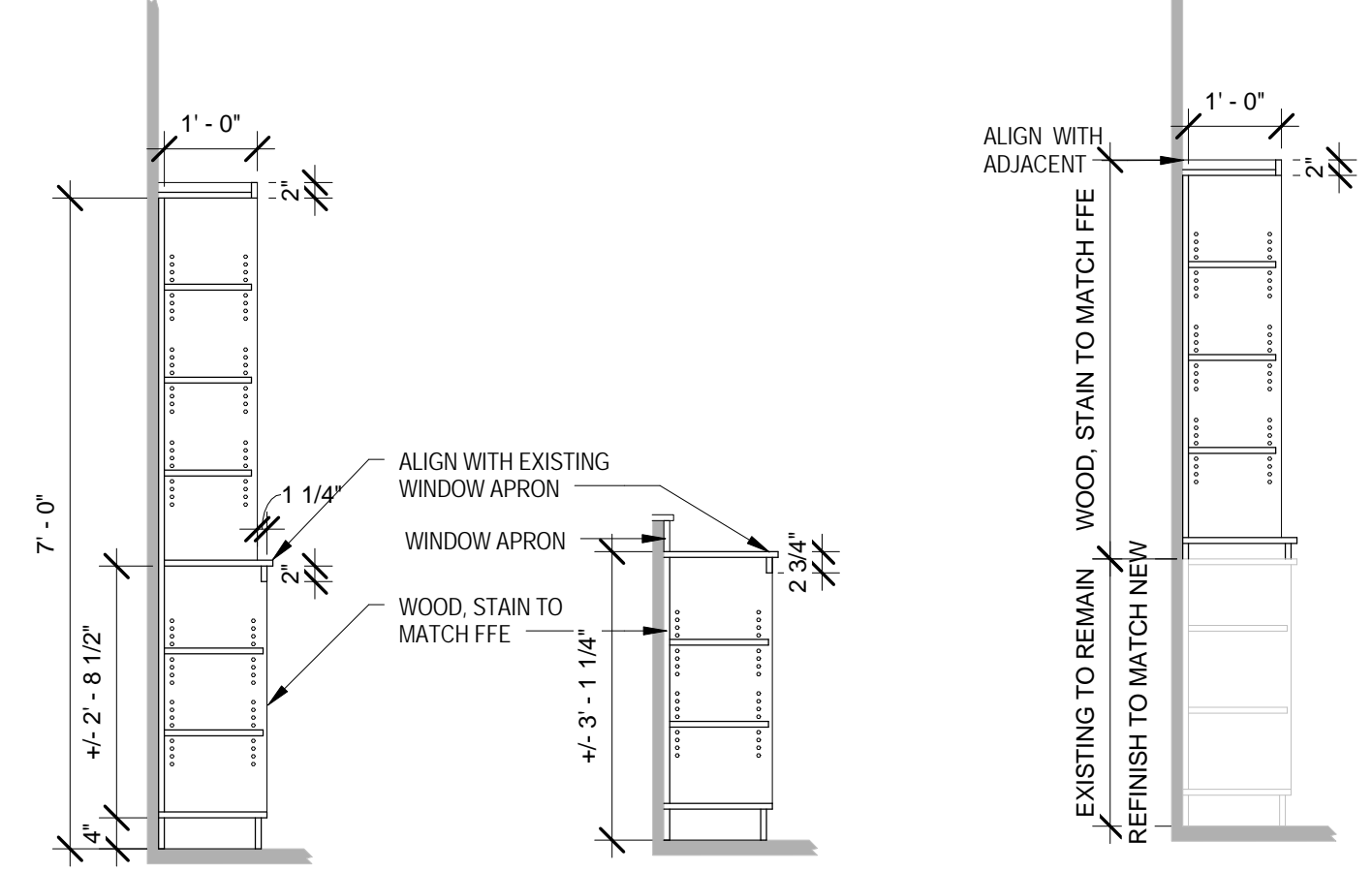
8 CIRCULATION
A-606 1/4" = 1'-0"



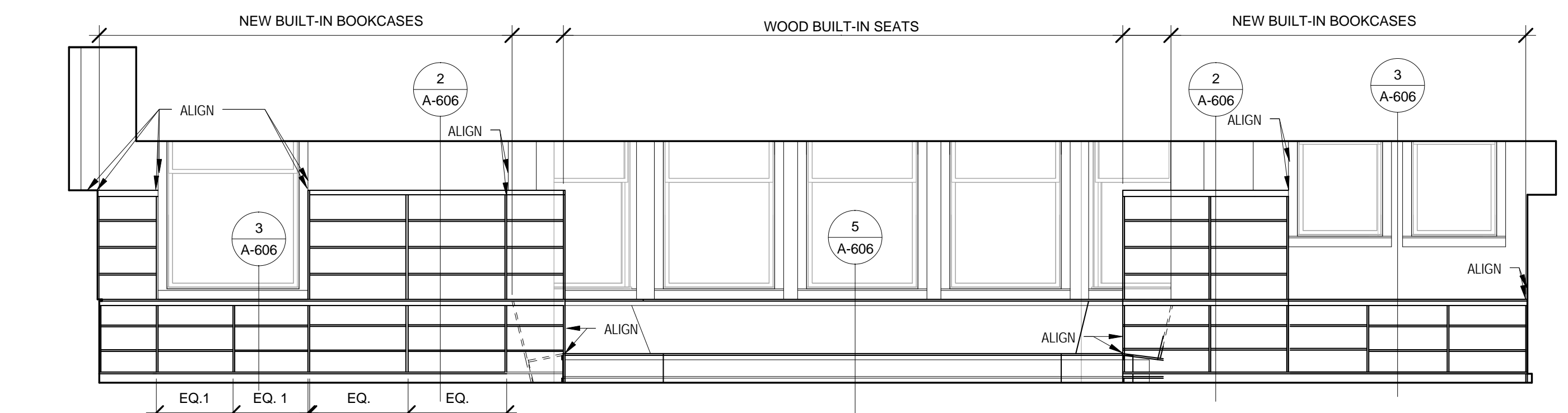
9 LIBRARIAN COUNTER
A-606 1/4" = 1'-0"



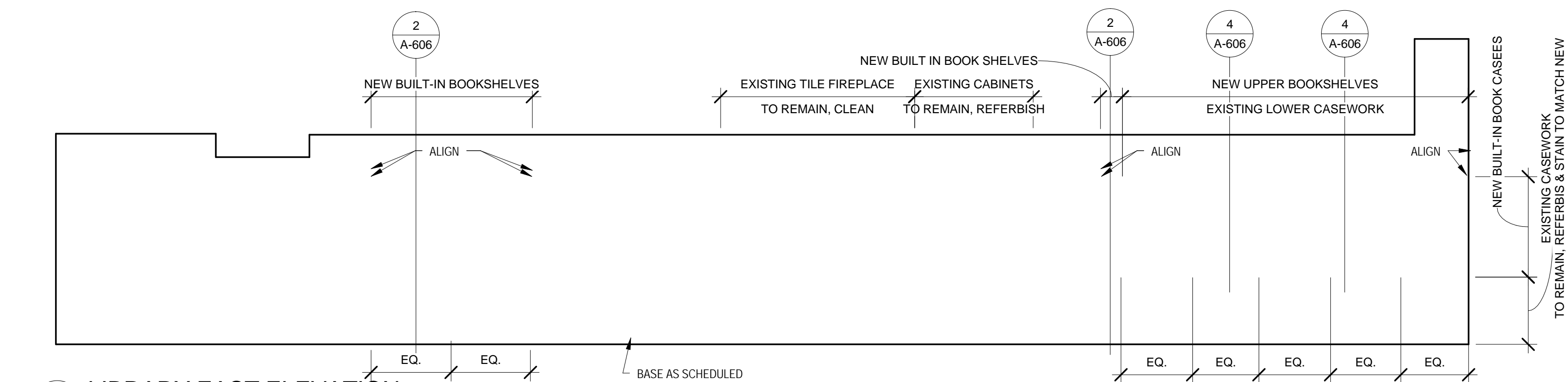
D LIBRARY SOUTH ELEVATION
A-606 1/4" = 1'-0"



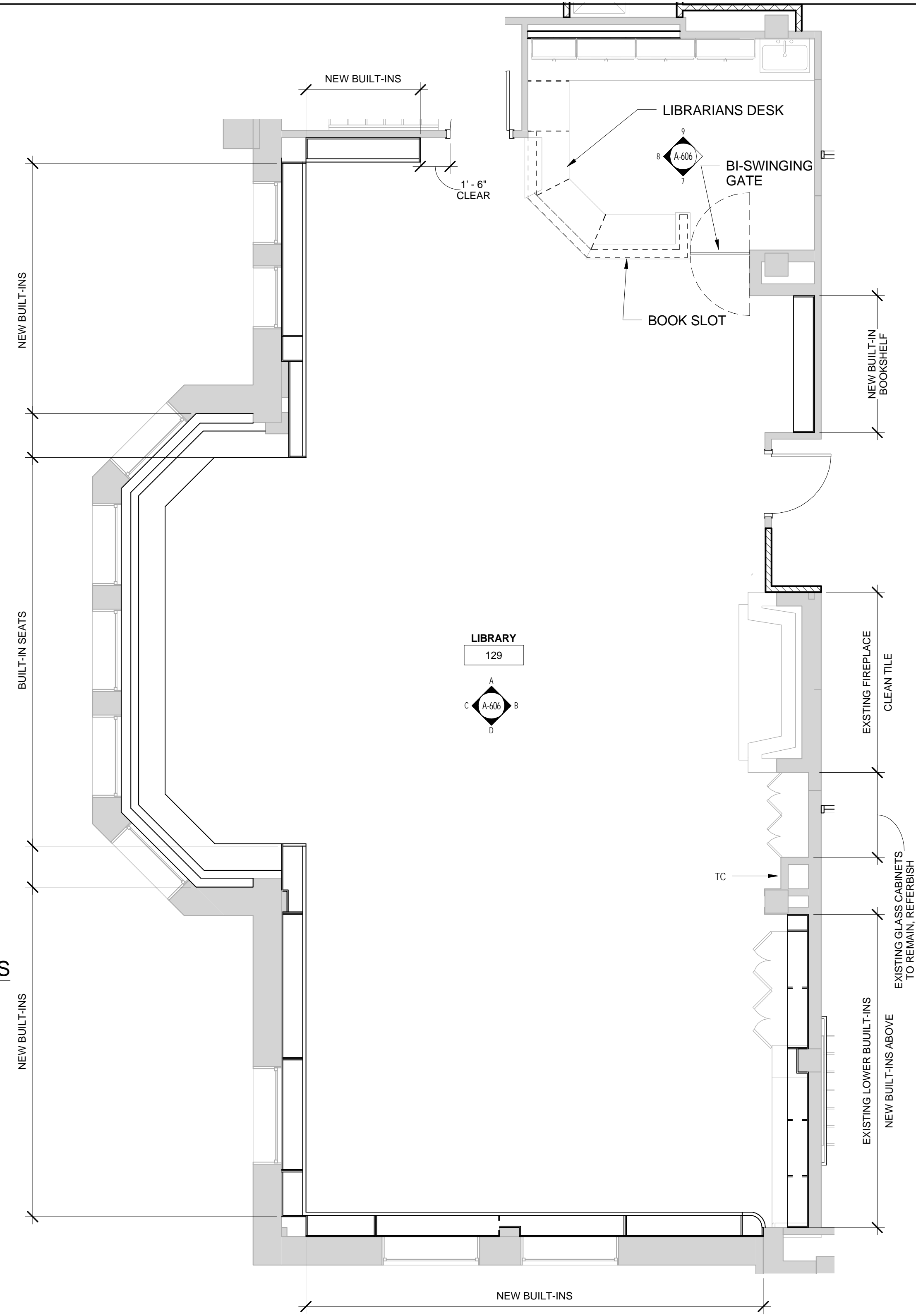
2 BOOKSHELF A-606 1/2" = 1'-0"
3 1/2 HEIGHT BUILT-INS A-606 1/2" = 1'-0"
4 UPPER BOOKSHELVES A-606 1/2" = 1'-0"



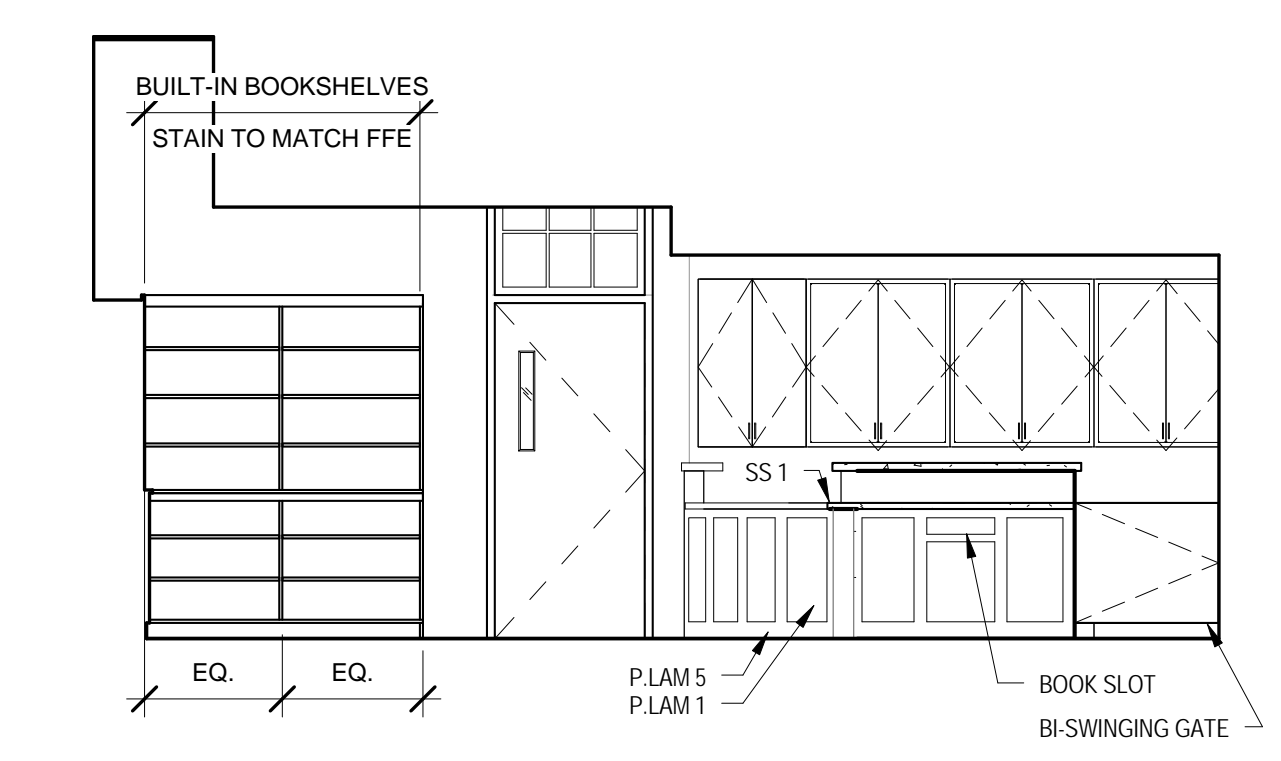
C LIBRARY WEST ELEVATION
A-606 1/4" = 1'-0"



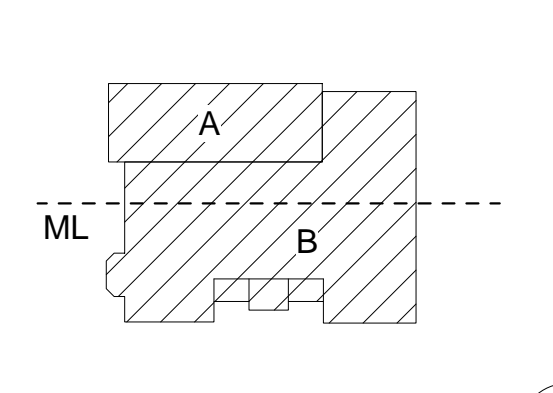
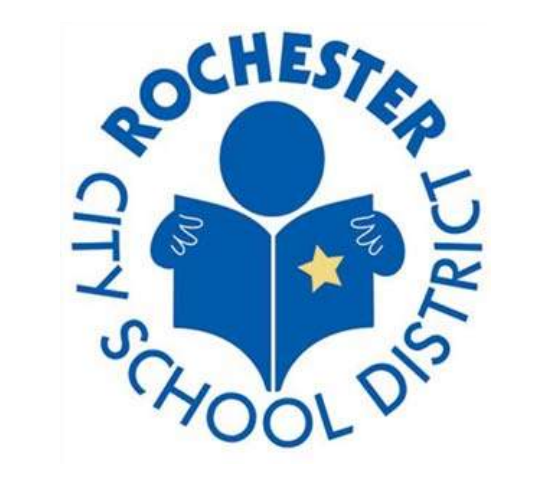
B LIBRARY EAST ELEVATION
A-606 1/4" = 1'-0"



1 LIBRARY
A-606 1/4" = 1'-0"



A LIBRARY NORTH ELEVATION
A-606 1/4" = 1'-0"



JEFFERSON TERRACE

DR. SAMUEL MCCREE WAY

REV. # DESCRIPTION DATE
2 BID ADDENDA #2 5/4/18

SED # 26-16-00-01-0-004-024
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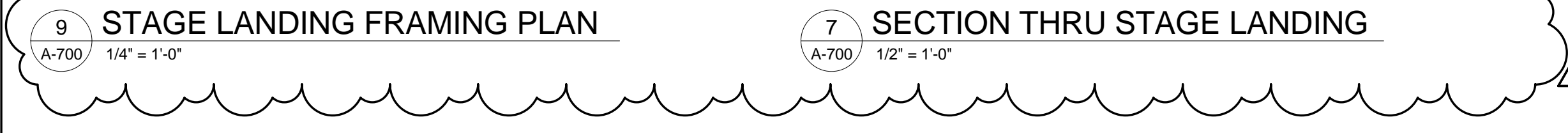
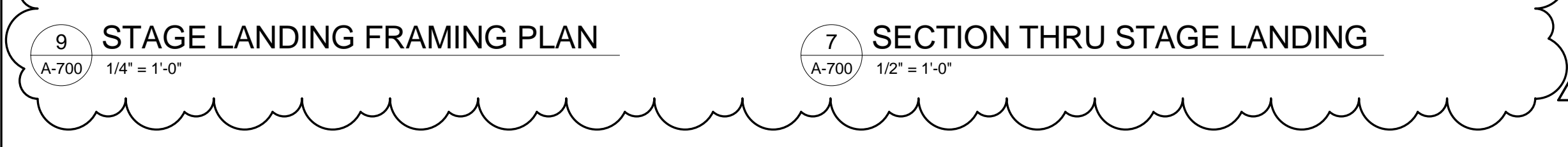
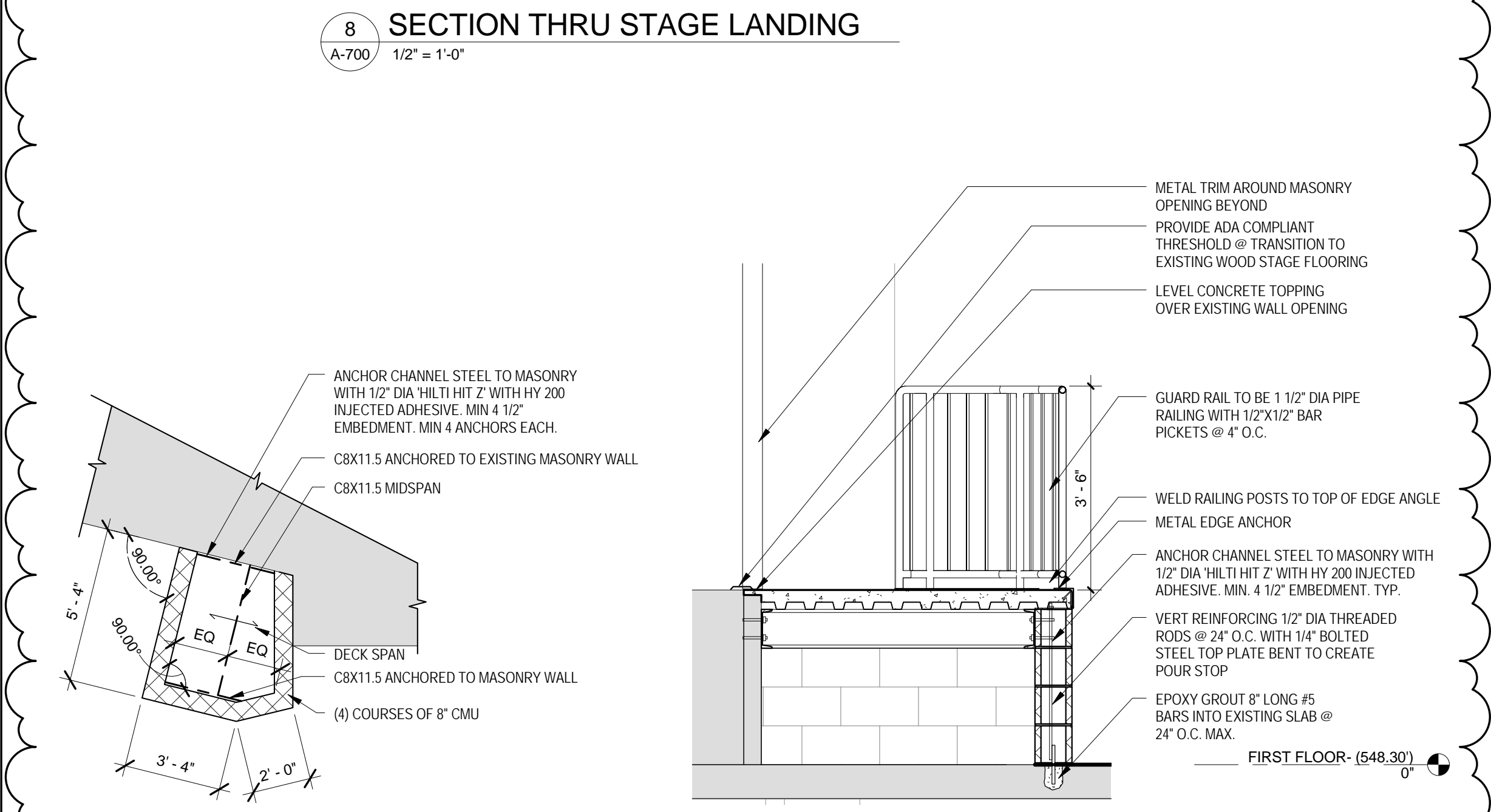
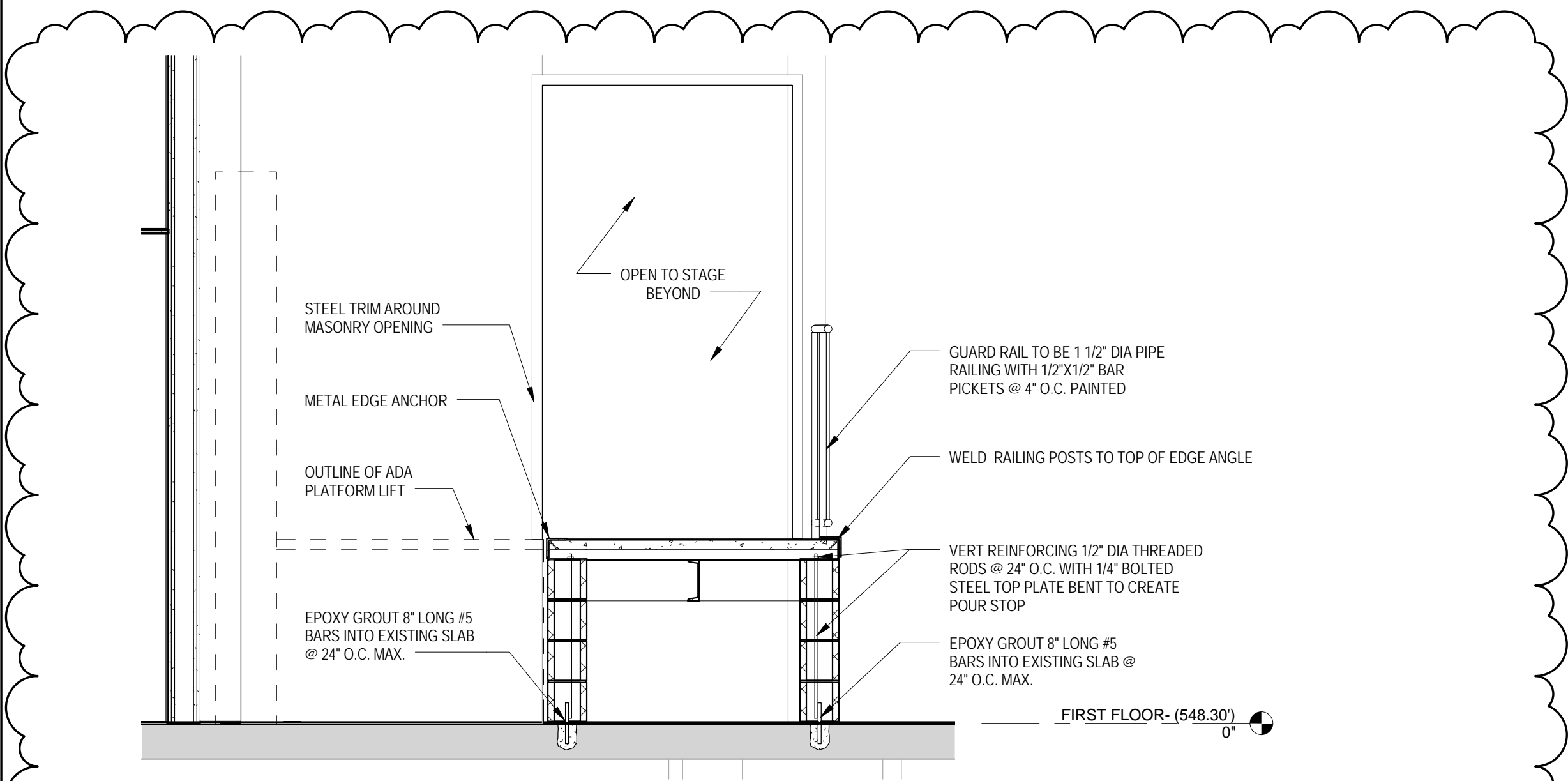
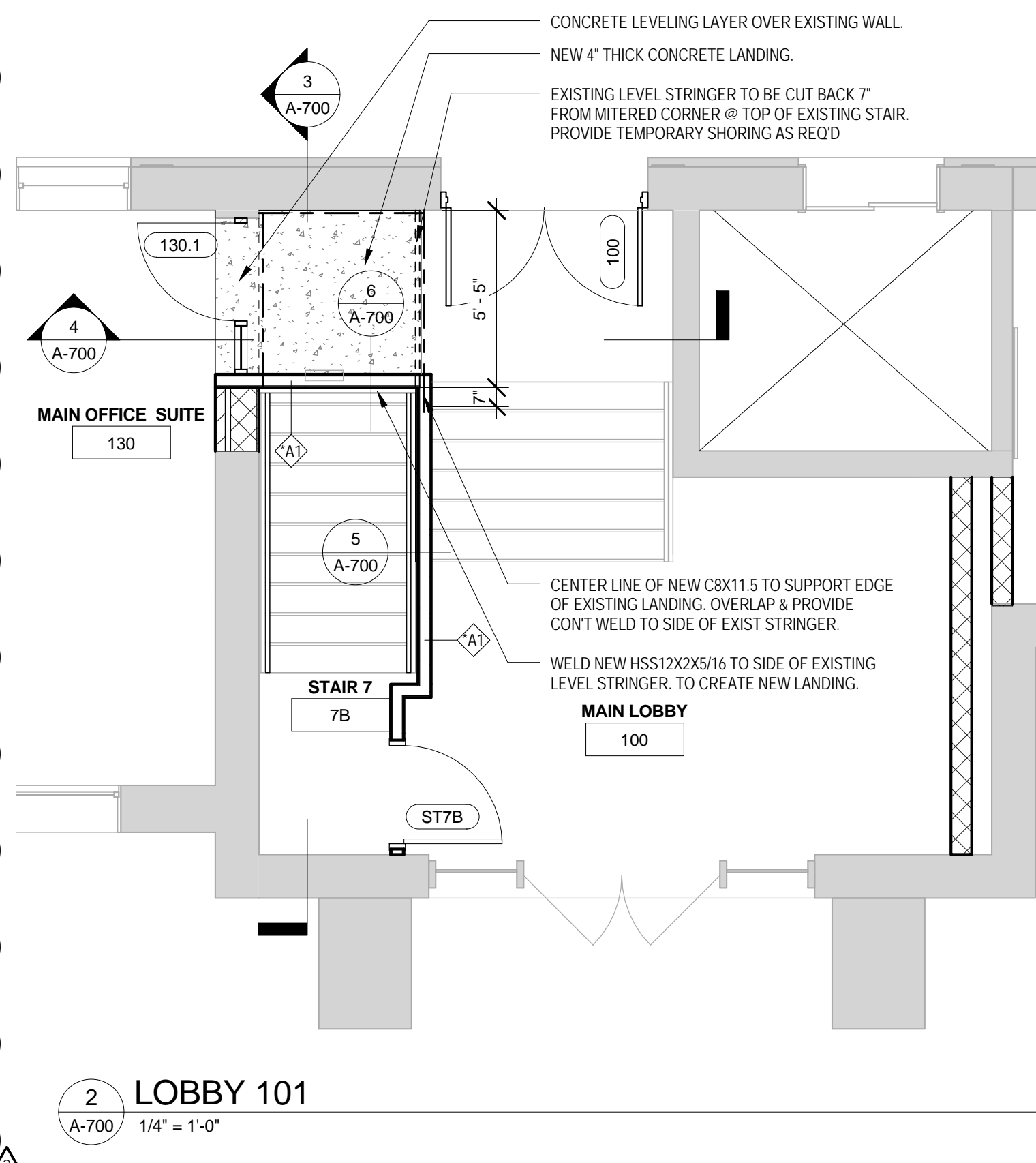
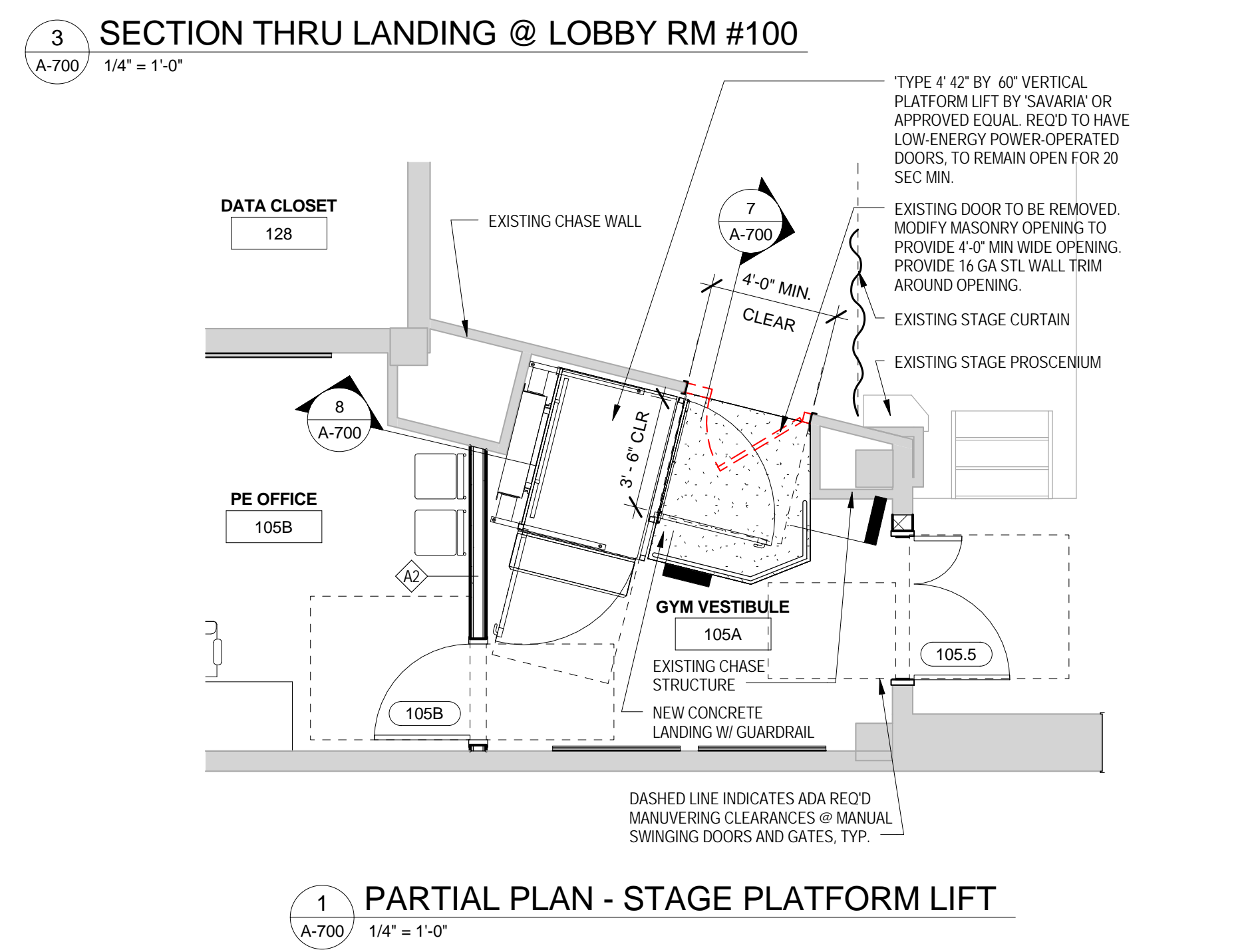
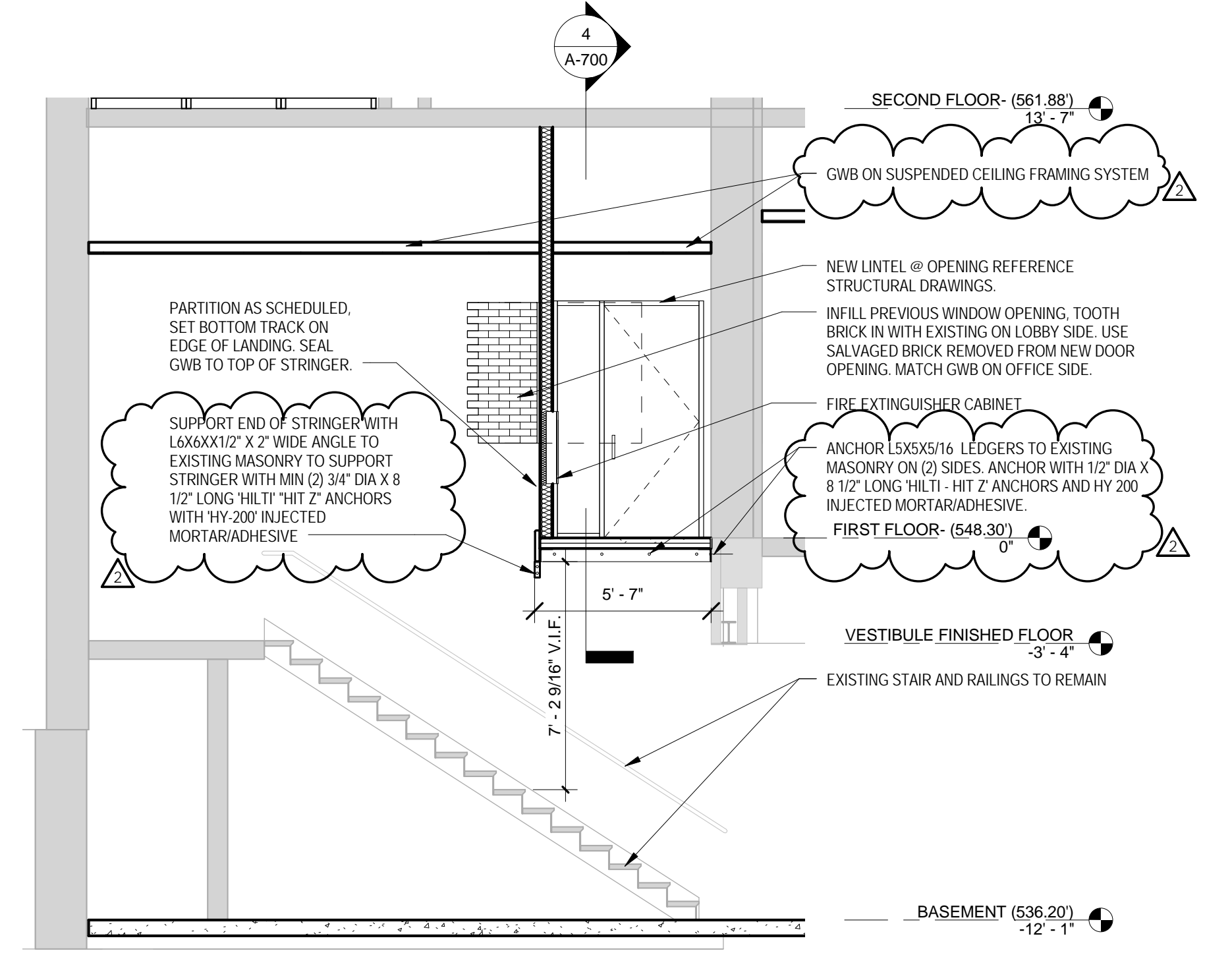
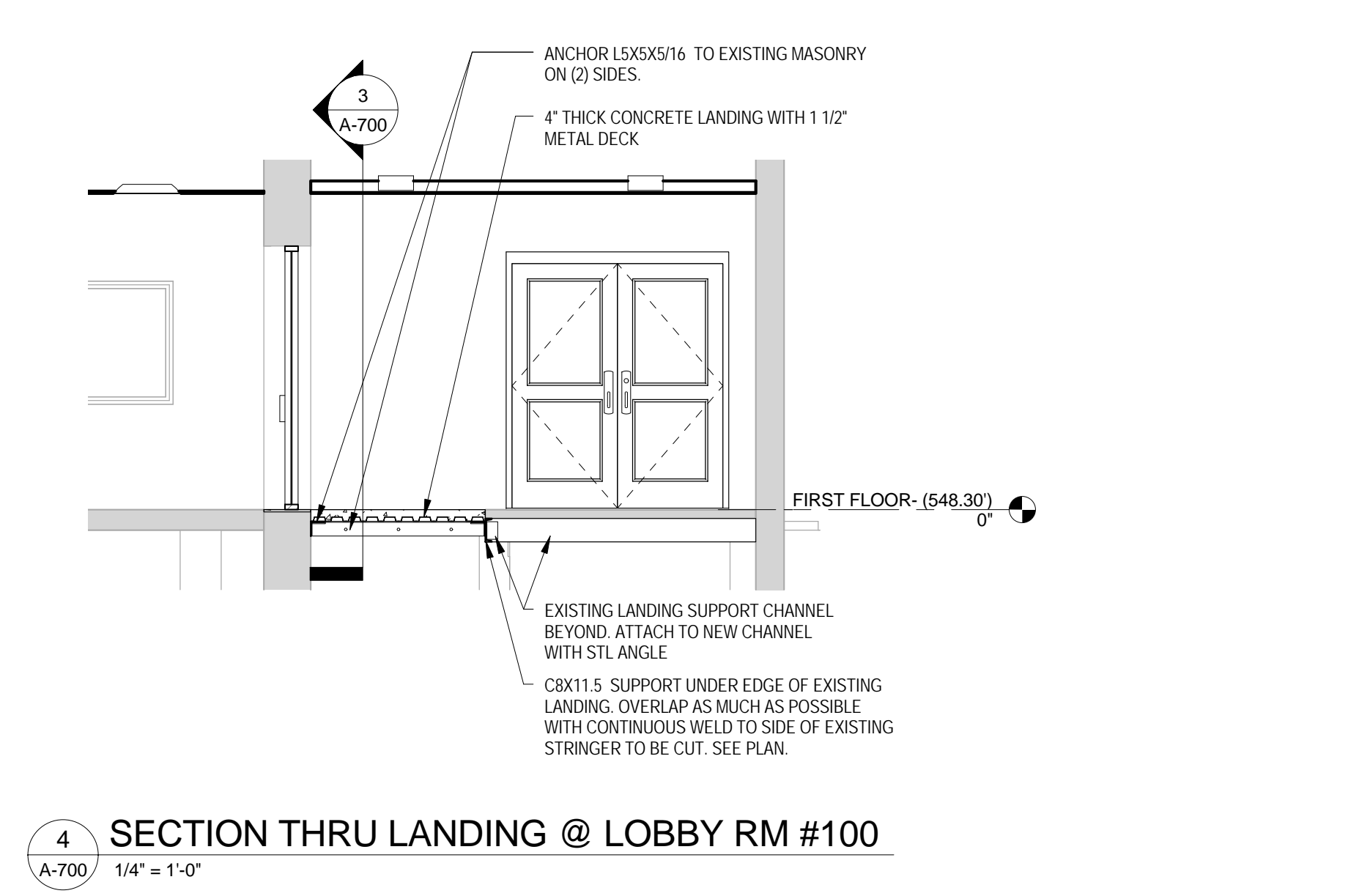
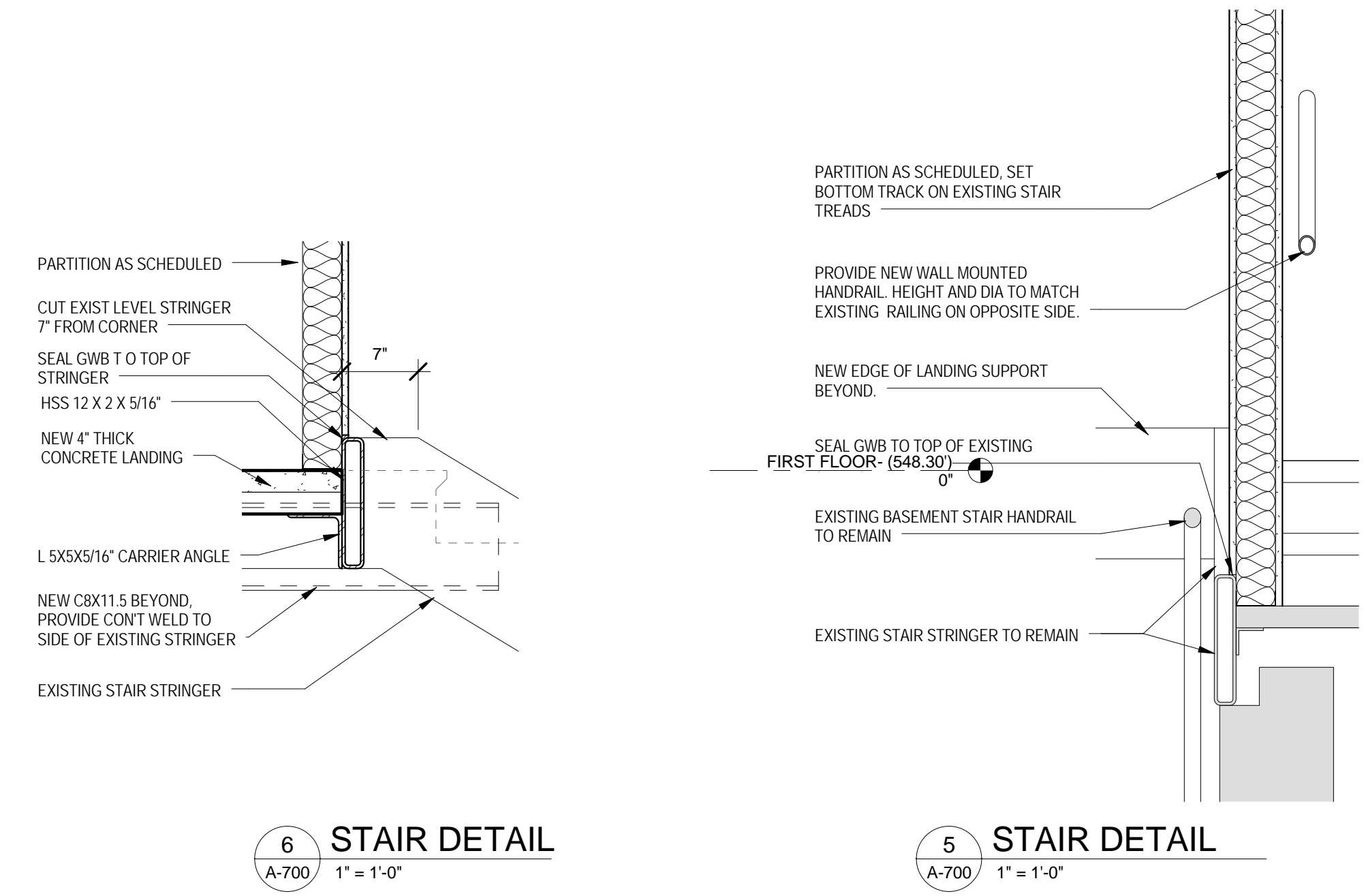
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LIBRARY PLANS AND ELEVATIONS

A-606

ISSUED FOR BIDDING



MILLWORK SCHEDULE							
ROOM NUMBER	ROOM NAME	COUNT	HEIGHT	WIDTH	DEPTH	FINISH	COMMENTS
		1					
BASEMENT (536.20')							
3	COMPUTER CLASSROOM	1	2' - 8 1/2"	1' - 6"	2' - 0"	P. LAM 2/ SS 2	
3	COMPUTER CLASSROOM	1	3' - 6"	1' - 6"	1' - 0"	P. LAM 2	WALL CABINET
3	COMPUTER CLASSROOM	2	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
3	COMPUTER CLASSROOM	2	3' - 6"	3' - 0"	1' - 0"	P. LAM 2	WALL CABINET
4	ART	4	2' - 8 1/2"	1' - 6"	2' - 0"	P. LAM 2/ S. STEEL	
4	ART	3	3' - 6"	1' - 6"	1' - 0"	P. LAM 2	WALL CABINET
4	ART	14	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 2/ S. STEEL	
4	ART	5	3' - 6"	3' - 0"	1' - 0"	P. LAM 2	WALL CABINET
CUSTODIAN MEZZANINE LEVEL- 561.90							
108B	CUSTODIAN OFFICE	1	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
108B	CUSTODIAN OFFICE	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 2	WALL CABINET
FIRST FLOOR- (548.30')							
102	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
102	1-3 GRADE CLASSROOM	4	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
103	1-3 GRADE CLASSROOM	1	2' - 8 1/2"	2' - 0"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
103	1-3 GRADE CLASSROOM	1	2' - 9"	2' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
103	1-3 GRADE CLASSROOM	2	2' - 8 1/2"	2' - 6"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
103	1-3 GRADE CLASSROOM	2	2' - 9"	2' - 6"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
103	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
103	1-3 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
104	1-3 GRADE CLASSROOM	2	2' - 8 1/2"	2' - 3"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
104	1-3 GRADE CLASSROOM	2	2' - 9"	2' - 3"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
104	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
104	1-3 GRADE CLASSROOM	1	3' - 6"	3' - 3"	1' - 0"	P. LAM 1	WALL CABINET
107	FLEX CLASSROOM PRE-K-3RD	2	2' - 8 1/2"	2' - 0"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
107	FLEX CLASSROOM PRE-K-3RD	2	2' - 9"	2' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
107	FLEX CLASSROOM PRE-K-3RD	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
107	FLEX CLASSROOM PRE-K-3RD	1	3' - 6"	3' - 3"	1' - 0"	P. LAM 1	WALL CABINET
110	SPEC. ED (15:1)	2	2' - 8 1/2"	2' - 9"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
110	SPEC. ED (15:1)	2	2' - 9"	2' - 9"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
110	SPEC. ED (15:1)	1	3' - 6"	2' - 9"	1' - 0"	P. LAM 1	WALL CABINET
110	SPEC. ED (15:1)	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
111	MUSIC CLASSROOM	5	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
111	MUSIC CLASSROOM	3	3' - 6"	3' - 0"	1' - 0"	P. LAM	WALL CABINET
112	INSTRUMENTAL MUSIC/ DRAMA CLASSROOM	2	2' - 8 1/2"	1' - 3"	2' - 0"	P. LAM 1/ SS 1	
112	INSTRUMENTAL MUSIC/ DRAMA CLASSROOM	5	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
112	INSTRUMENTAL MUSIC/ DRAMA CLASSROOM	3	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
114	PRIMARY PROJECT	3	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
114	PRIMARY PROJECT	3	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
117	KINDERGARTEN	1	1' - 11 1/2"	1' - 3"	2' - 0"	P. LAM 2/ SS 2	
117	KINDERGARTEN	1	1' - 11 1/2"	1' - 6"	2' - 0"	P. LAM 2/ SS 2	
117	KINDERGARTEN	10	1' - 11 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
120	NURSE SUITE	4	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
120	NURSE SUITE	2	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
121	KINDERGARTEN	11	1' - 11 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
122	PRE-K	1	1' - 11 1/2"	1' - 6"	2' - 0"	P. LAM 2/ SS 2	
122	PRE-K	13	1' - 11 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
124	PRE-K	1	1' - 11 1/2"	1' - 6"	2' - 0"	P. LAM 1/ SS 1	
124	PRE-K	2	2' - 8 1/2"	2' - 0"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
124	PRE-K	2	2' - 9"	2' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
124	PRE-K	12	1' - 11 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
126	ESOL	5	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	

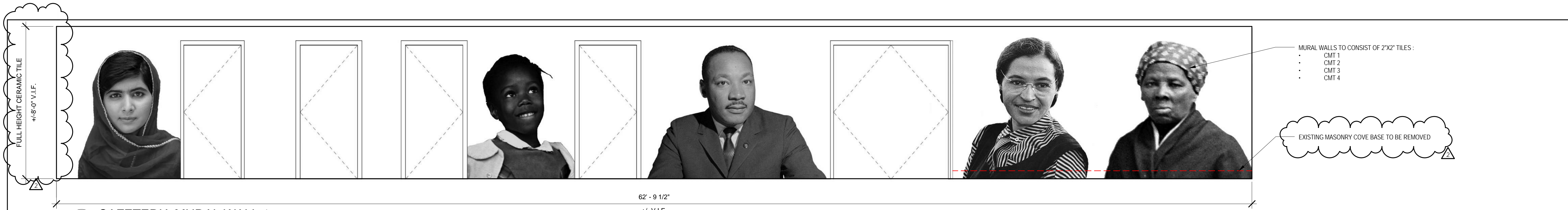
- MILLWORK NOTES:
1. UTILIZE FILLER PANELS TO ALLOW FOR ALIGNMENT. SEE PLAN ELEVATIONS
 2. FILLER PANELS NOT NECESSARILY CALLED OUT ON PLAN ELEVATION OR SECTION
 3. REFER TO A710 FOR ACCESSIBILITY REQUIREMENTS AND DETAILS

MILLWORK FINISHES

P. LAM 1- BOD: WILSONART PREMIUM LAMINATE 7976K-12 WHITE CYPRESS
 P. LAM 2- BOD: WILSONART PREMIUM LAMINATE 4939K-18 LINEARITY FINISH
 P. LAM 3- BOD: WILSONART PREMIUM LAMINATE 4941K-18 COSMIC STRANDZ
 P. LAM 4- BOD: FORMICA 8824-58 WHITE DROPS
 P. LAM 5- BOD: TBD

SS 1- BOD: DU-PONT CORIAN STARDUST
 SS 2- BOD: DU-PONT CORIAN WHITCH HAZEL
 SS 3- BOD: DU-PONT CORIAN NATURAL GRAY
 SS 4- BOD: DU-PONT CORIAN WHITE JASMINE

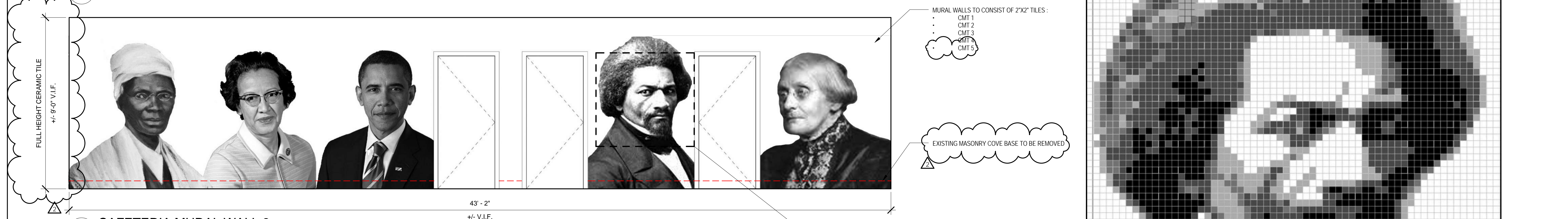
MILLWORK SCHEDULE							
ROOM NUMBER	ROOM NAME	COUNT	HEIGHT	WIDTH	DEPTH	FINISH	COMMENTS
129	LIBRARY	1	2' - 8 1/2"	2' - 3"	2' - 0"	P. LAM 1/ SS 1	
129	LIBRARY	1	3' - 6"	2' - 3"	1' - 0"	P. LAM 1	WALL CABINET
129	LIBRARY	4	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
129	LIBRARY	3	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
SECOND FLOOR- (561.88')							
200	CSE/ CONFERENCE ROOM	3	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
201	1-3 GRADE CLASSROOM	1	2' - 8 1/2"	2' - 0"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
201	1-3 GRADE CLASSROOM	1	2' - 9"	2' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
201	1-3 GRADE CLASSROOM	2	2' - 8 1/2"	2' - 6"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
201	1-3 GRADE CLASSROOM	2	2' - 9"	2' - 6"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
201	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
202	1-3 GRADE CLASSROOM	1	2' - 8 1/2"	2' - 0"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
202	1-3 GRADE CLASSROOM	1	2' - 9"	2' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
202	1-3 GRADE CLASSROOM	2	2' - 8 1/2"	2' - 6"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
202	1-3 GRADE CLASSROOM	2	2' - 9"	2' - 6"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
202	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
202	1-3 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
203	1-3 GRADE CLASSROOM	2	2' - 8 1/2"	2' - 3"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
203	1-3 GRADE CLASSROOM	2	2' - 9"	2' - 3"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
203	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
203	1-3 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
206	1-3 GRADE CLASSROOM	2	2' - 8 1/2"	2' - 0"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
206	1-3 GRADE CLASSROOM	2	2' - 9"	2' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
206	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
206	1-3 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 4	WALL CABINET
210	SPEC. ED (15:1)	1	2' - 8 1/2"	1' - 0"	2' - 0"	P. LAM 4/ SS 4	
210	SPEC. ED (15:1)	1	2' - 8 1/2"	1' - 3"	2' - 0"	P. LAM 4/ SS 4	
210	SPEC. ED (15:1)	2	2' - 8 1/2"	1' - 6"	2' - 0"	P. LAM 4/ SS 4	
210	SPEC. ED (15:1)	4	3' - 6"	1' - 6"	1' - 0"	P. LAM 4	WALL CABINET
210	SPEC. ED (15:1)	1	2' - 8 1/2"	2' - 0"	2' - 0"	P. LAM 4	
210	SPEC. ED (15:1)	9	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 4/ SS 4	
210	SPEC. ED (15:1)	2	2' - 9"	3' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
211	OT/PT	3	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
211	OT/PT	3	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
212	4-6 GRADE CLASSROOM	1	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
212	4-6 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 2	WALL CABINET
212	4-6 GRADE CLASSROOM	2	2' - 8 1/2"	3' - 6"	2' - 0"	P. LAM 2/ SS 2	
212	4-6 GRADE CLASSROOM	2	3' - 6"	3' - 6"	1' - 0"	P. LAM 2	WALL CABINET
213	4-6 GRADE CLASSROOM	1	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	ROLL UNDER SINK CABINET
213	4-6 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 2	WALL CABINET
213	4-6 GRADE CLASSROOM	2	2' - 8 1/2"	3' - 6"	2' - 0"	P. LAM 2/ SS 2	
213	4-6 GRADE CLASSROOM	2	3' - 6"	3' - 6"	1' - 0"	P. LAM 2	WALL CABINET
216	4-6 GRADE CLASSROOM	10	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
216	4-6 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 2	WALL CABINET
217	4-6 FLEX/MAKER CLASSROOM	9	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 3/ SS 3	
217	4-6 FLEX/MAKER CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 3	WALL CABINET
221	4-6 GRADE FLEX/ MAKER CLASSROOM	9	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 3/ SS 3	
221	4-6 GRADE FLEX/ MAKER CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 3	WALL CABINET
221	4-6 GRADE FLEX/ MAKER CLASSROOM	1	2' - 8 1/2"	3' - 6"	2' - 0"	P. LAM 3/ SS 3	
222	4-6 GRADE CLASSROOM	9	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 2/ SS 2	
222	4-6 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 2	WALL CABINET
222	4-6 GRADE CLASSROOM	1	2' - 8 1/2"	3' - 6"	2' - 0"	P. LAM 2/ SS 2	COLUMN ADJUSTMENT NECESSARY
223	SOCIAL WORKER OFFICE	4	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
223	SOCIAL WORKER OFFICE	4	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
224	4-6 GRADE CLASSROOM	9	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
224	4-6 GRADE CLASSROOM	2	2' - 9"	3' - 0"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
224	4-6 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
225	PSYCH OFFICE	4	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
225	PSYCH OFFICE	4	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
226	SPEC. ED (15:1)	2	2' - 8 1/2"	2' - 3"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
226	SPEC. ED (15:1)	2	2' - 9"	2' - 3"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
226	SPEC. ED (15:1)	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
226	SPEC. ED (15:1)	1	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
227	TEACHER CONFERENCE ROOM	2	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 1	
227	TEACHER CONFERENCE ROOM	2	3' - 6"	3' - 0"	1' - 0"	P. LAM 1	WALL CABINET
227	TEACHER CONFERENCE ROOM	1	2' - 8 1/2"	3' - 6"	2' - 0"	P. LAM 1/ SS 1	
227	TEACHER CONFERENCE ROOM	1	3' - 6"	3' - 6"	1' - 0"	P. LAM 1	WALL CABINET
231	4-6 GRADE CLASSROOM	1	2' - 8 1/2"	2' - 6"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
231	4-6 GRADE CLASSROOM	1	2' - 9"	2' - 6"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
231	4-6 GRADE CLASSROOM	6	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
232	RESOURCE ROOM	1	2' - 8 1/2"	1' - 6"	2' - 0"	P. LAM 1/ SS 3	
232	RESOURCE ROOM	8	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
232	RESOURCE ROOM	1	2' - 9"	3' - 0"	1' - 0"	P. LAM 1/ SS 3	ROLL UNDER SINK
233	1-3 GRADE CLASSROOM	2	2' - 8 1/2"	2' - 3"	2' - 0"	WD/ WD	PART OF CUBBY REMAKE
233	1-3 GRADE CLASSROOM	2	2' - 9"	2' - 3"	1' - 0"	WD/ WD	PART OF CUBBY REMAKE
233	1-3 GRADE CLASSROOM	7	2' - 8 1/2"	3' - 0"	2' - 0"	P. LAM 1/ SS 3	
233	1-3 GRADE CLASSROOM	1	3' - 6"	3' - 0"	1' - 0"		



MURAL WALLS TO CONSIST OF 2'X2' TILES:
 . CMT 1
 . CMT 2
 . CMT 3
 . CMT 4

EXISTING MASONRY COVE BASE TO BE REMOVED

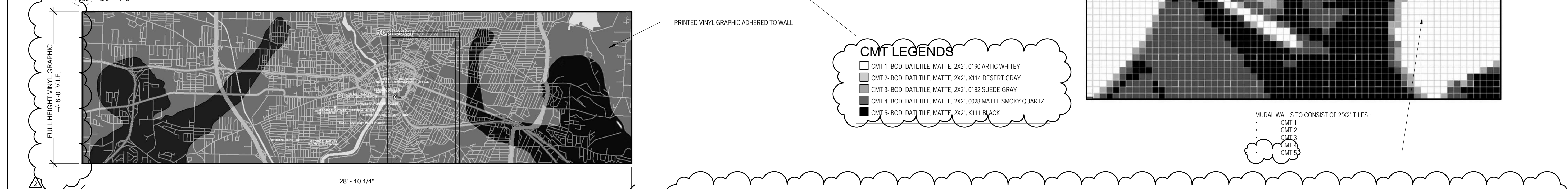
1 CAFETERIA MURAL WALL 1
 1-600 3/8" = 1'-0"



MURAL WALLS TO CONSIST OF 2'X2' TILES:
 . CMT 1
 . CMT 2
 . CMT 3
 . CMT 4
 . CMT 5

EXISTING MASONRY COVE BASE TO BE REMOVED

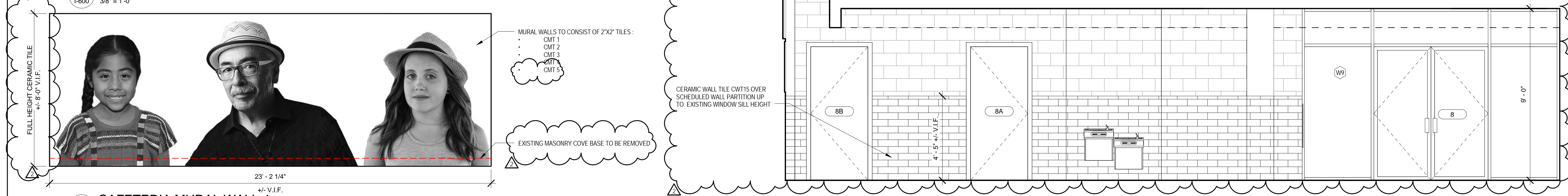
2 CAFETERIA MURAL WALL 2
 1-600 3/8" = 1'-0"



CMT LEGENDS

- CMT 1- BOD: DATLTILE, MATTE, 2X2', 0190 ARTIC WHITE
- CMT 2- BOD: DATLTILE, MATTE, 2X2', X114 DESERT GRAY
- CMT 3- BOD: DATLTILE, MATTE, 2X2', 0182 SUEDE GRAY
- CMT 4- BOD: DATLTILE, MATTE, 2X2', 0028 MATTE SMOKY QUARTZ
- CMT 5- BOD: DATLTILE, MATTE, 2X2', K111 BLACK

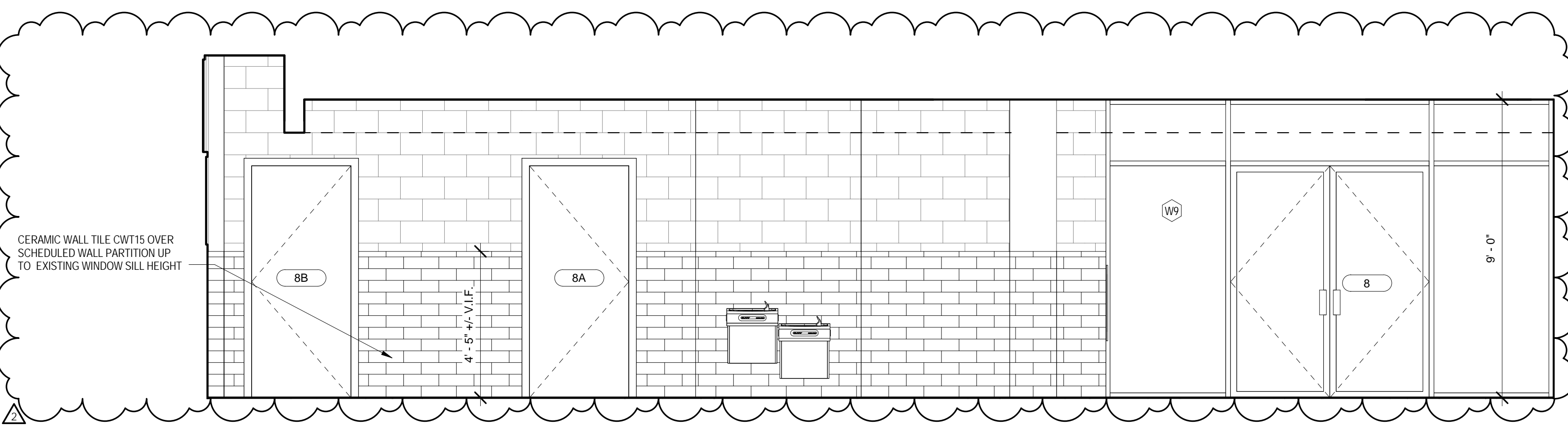
3 CAFETERIA MURAL WALL 3
 1-600 3/8" = 1'-0"



MURAL WALLS TO CONSIST OF 2'X2' TILES:
 . CMT 1
 . CMT 2
 . CMT 3
 . CMT 4
 . CMT 5

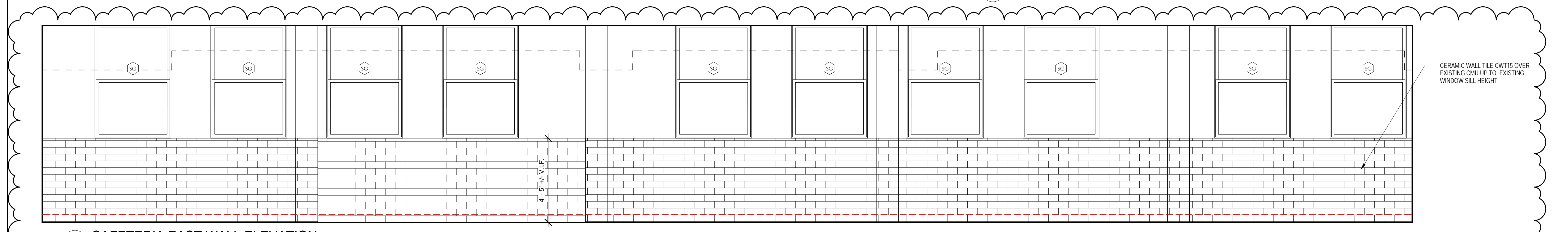
EXISTING MASONRY COVE BASE TO BE REMOVED

4 CAFETERIA MURAL WALL 4
 1-600 3/8" = 1'-0"



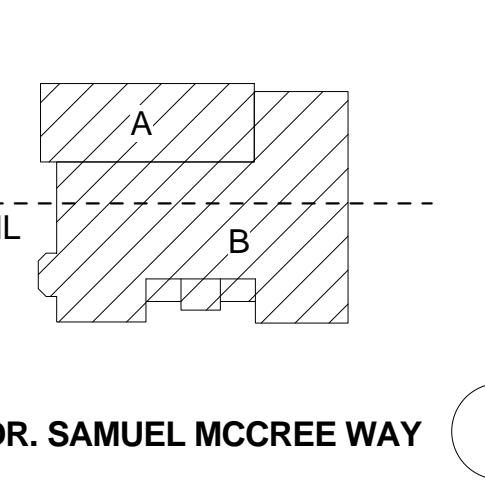
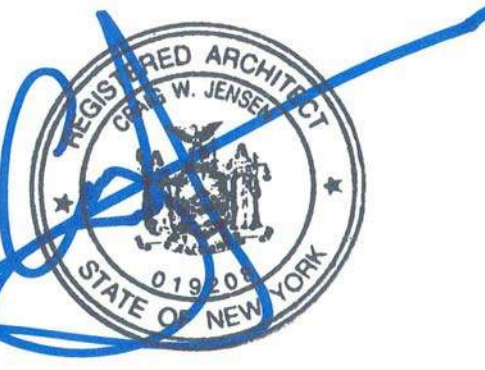
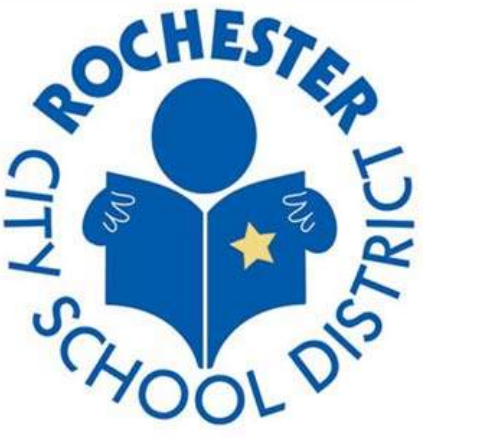
MURAL WALLS TO CONSIST OF 2'X2' TILES:
 . CMT 1
 . CMT 2
 . CMT 3
 . CMT 4
 . CMT 5

7 CAFETERIA SOUTH WALL ELEVATION
 1-600 3/8" = 1'-0"



CERAMIC WALL TILE CWT15 OVER EXISTING CMU UP TO EXISTING WINDOW SILL HEIGHT

6 CAFETERIA EAST WALL ELEVATION
 1-600 3/8" = 1'-0"



JEFFERSON TERRACE

DR. SAMUEL MCCREE WAY
 KEY PLAN

SED # 26-16-00-01-0-004-024
 DWT SED #
 26-16-00-01-7-999-020

Rochester Schools Modernization Program
 -Phase 2c
 George M. Forbes- Renovation, Alterations
 and Addition

198 Dr Samuel McCree Way,
 Rochester, NY 14611

REV. #	DESCRIPTION	DATE
2	BID ADDENDA #2	5/4/18

JOB NO.	1711
SCALE	As indicated
ISSUE DATE	4/9/18
DRAWN BY	Author
CHECKED BY	Checker

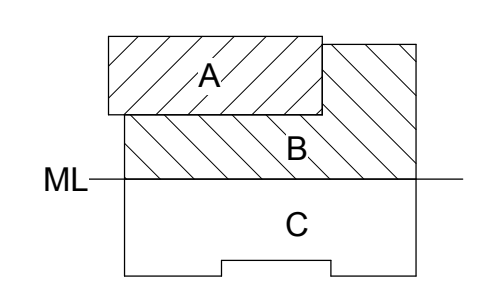
THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

MURAL WALL ELEVATIONS

I-600

ISSUED FOR BIDDING



REV. #	DESCRIPTION	DATE
1	ADDENDUM 2	5/04/18

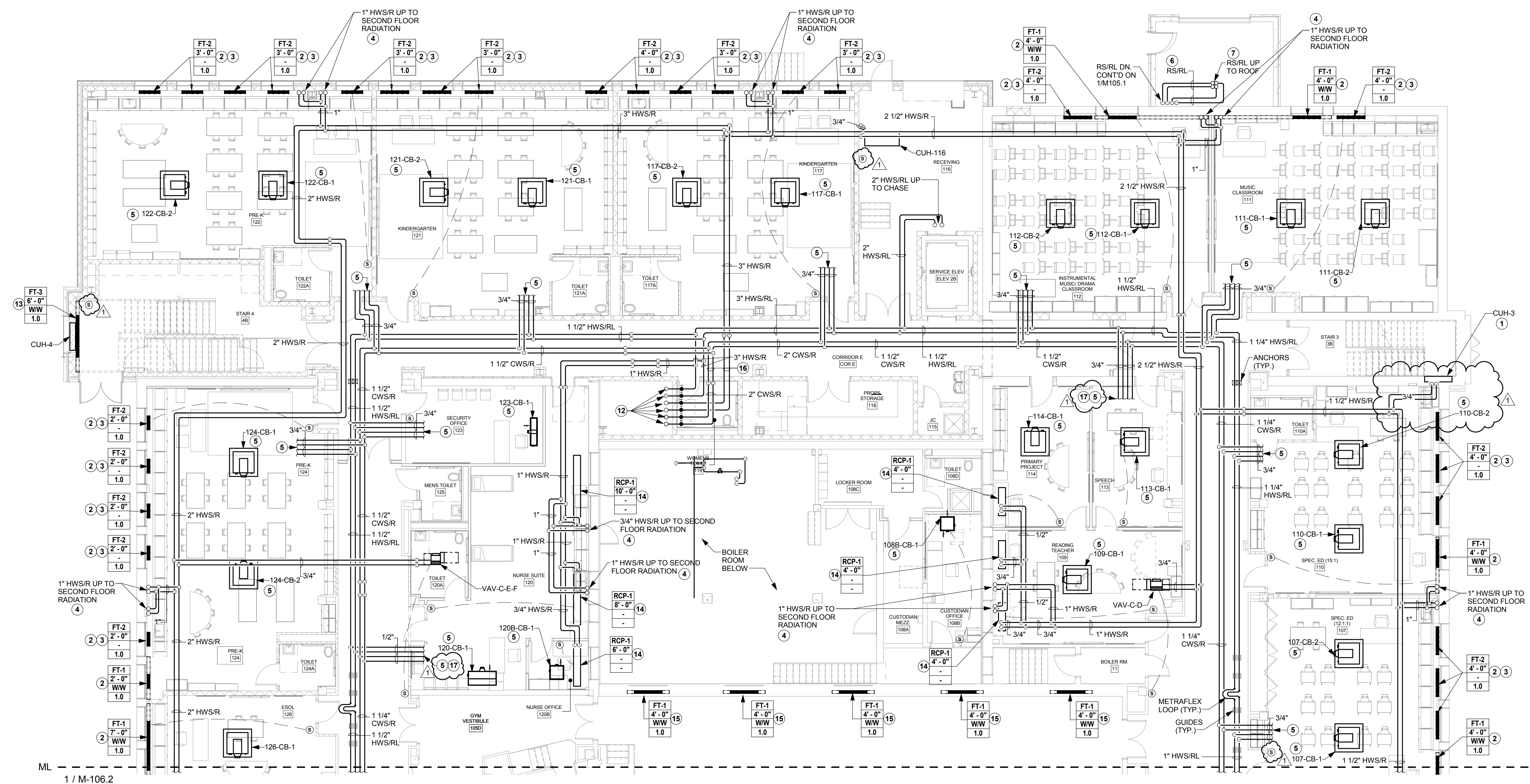
JOB NO.	1711
SCALE	AS NOTED
ISSUE DATE	4/9/18
DRAWN BY	AMR/JPP
CHECKED BY	AMR

THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

PARTIAL FIRST FLOOR PIPING PLAN - HVAC

M-106.1



1 PARTIAL FIRST FLOOR PLAN - PIPING
M-106.1 1/8" = 1'-0"



M-106.1 DRAWING NOTES

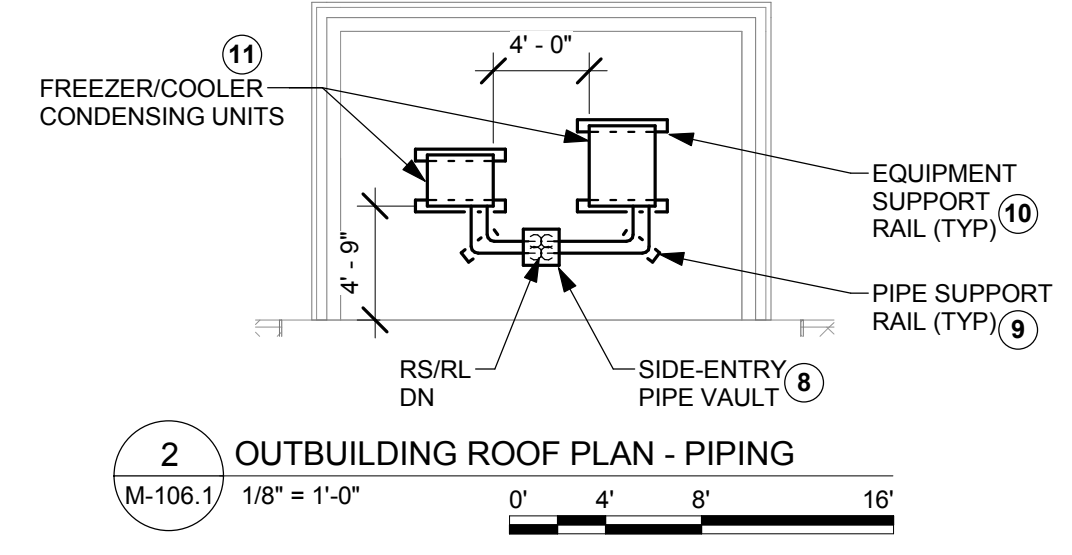
- PROVIDE CABINET UNIT HEATER IN EXISTING RECESSED WALL OPENING. G.C. TO REMOVE/REINSTALL ARCHITECTURAL GRILLE COVERING OPENING.
- FIN RADIATION SERVED FROM FLOOR BELOW. ROUTE UNINSULATED RETURN PIPING WITHIN ENCLOSURE CASEWORK.
- PROVIDE BARE ELEMENT FIN RADIATION AND ASSOCIATED PIPING BEHIND ARCHITECTURAL CASEWORK. INSULATE ALL PIPING WITHIN ARCHITECTURAL CASEWORK. REFER TO ARCHITECTURAL PLANS FOR ASSOCIATED DETAILS.
- PROVIDE A SINGLE SET OF VALVING LOCATED ABOVE FIRST FLOOR ACCESSIBLE CEILING FOR CONTROL OF PERIMETER RADIATION ABOVE.
- ROUTE 3/4" HWS/R AND 3/4" CWS/R TO CHILLED BEAM. REFER TO DETAIL FOR SINGLE UNIT AND MULTIPLE UNIT CONFIGURATIONS. LOCATE VALVING TRIM ABOVE ACCESSIBLE CEILING IN SPACE SERVED BY ASSOCIATED CHILLED BEAMS.
- ROUTE RS/RL PIPING TIGHT TO BOTTOM OF STRUCTURE IN OUT-BUILDING.
- REFER TO VIEW 2, THIS DRAWING FOR ROOF PLAN OF OUT-BUILDING.

M-106.1 DRAWING NOTES

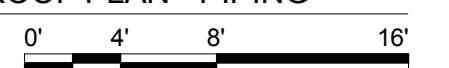
- PROVIDE SIDE-ENTRY PIPE VAULT AND ROUTE REFRIGERANT LINES DOWN THROUGH CURB. REFER TO VIEW 1, THIS DRAWING FOR CONTINUATION.
- PROVIDE PIPE SUPPORT RAIL AND CURB. LENGTH OF CURBS TO BE AS REQUIRED TO ACCOMMODATE QUANTITY AND SIZE OF REFRIGERANT PIPING (RS/RL).
- PROVIDE EQUIPMENT SUPPORT RAIL (TYPICAL TWO PER UNIT). LENGTH OF CURB TO BE AS REQUIRED TO FIT FINAL CONDENSING UNIT LENGTHS. COORDINATE WITH F.S.C.
- FINAL SIZE AND PLACEMENT OF CONDENSING UNITS TO BE COORDINATED WITH F.S.C./G.C.
- MAINTAIN MANUFACTURER RECOMMENDED SERVICE AND AIRFLOW CLEARANCES.
- ROUTE 3" HWS/R, 3" HWS/RL AND 3" CWS/R UP AND DOWN.
- MOUNT RADIATION 0'-6" BELOW WINDOW SILL TO TOP OF RADIATION ENCLOSURE.
- PROVIDE SCHEDULED RADIANT CEILING PANEL MOUNTED IN BULKHEAD, ANGLED. REFER TO MANUFACTURER INSTALLATION GUIDELINES.
- PROVIDE FIN RADIATION IN EXISTING RECESSED WALL OPENING. G.C. TO REMOVE/REINSTALL ARCHITECTURAL GRILLE COVERING OPENING.
- PROVIDE DIFFERENTIAL PRESSURE SENSOR AFTER FLOOR ISOLATION VALVES.
- CHILLED BEAMS SERVED BY ASSOCIATED BRANCH HOT WATER AND CHILLED WATER TO BE PIPED AS SINGLE UNIT ZONE TYPE (PER DETAIL). EACH CHILLED BEAM TO HAVE INDIVIDUAL CONTROL VALVE.

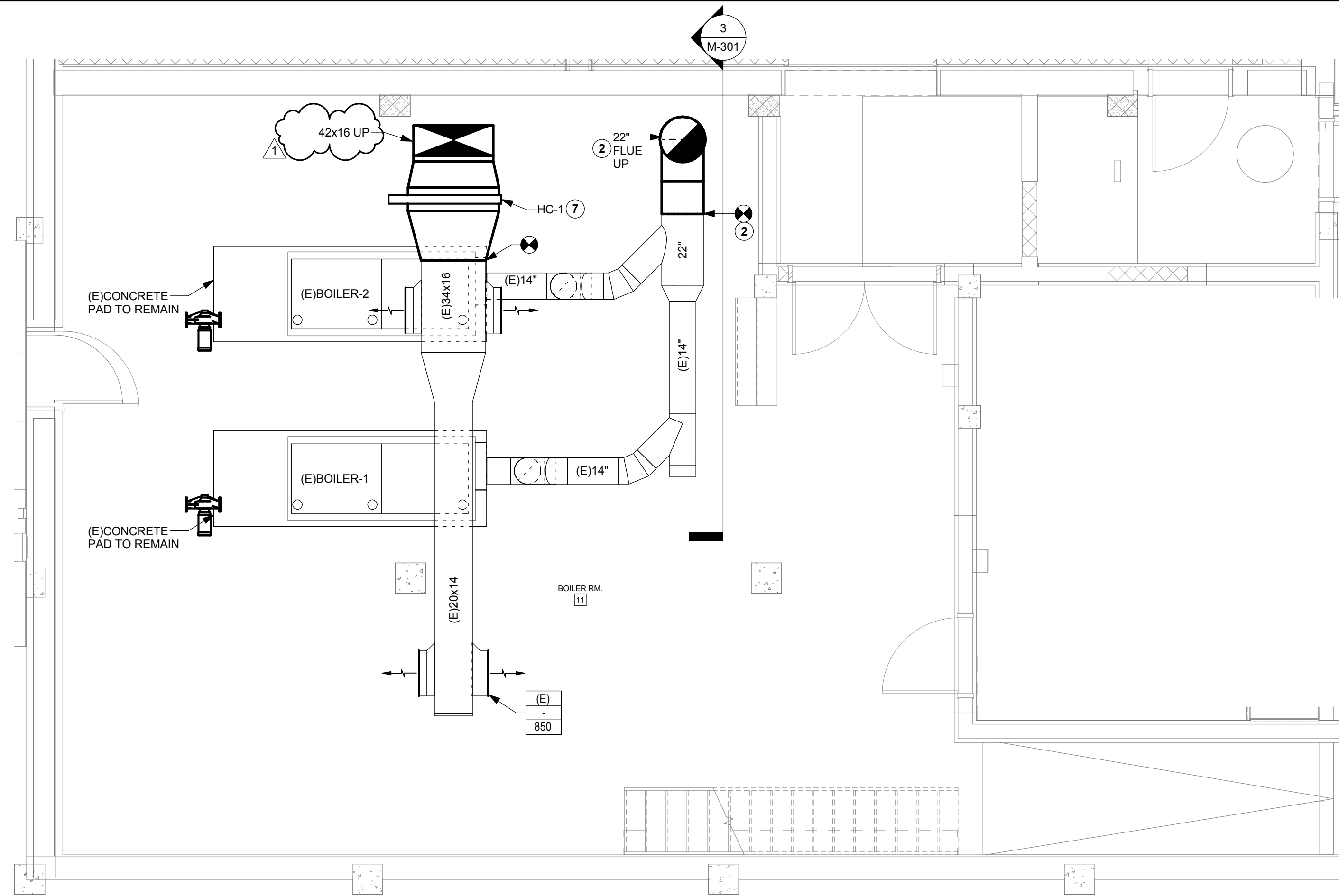
M-106.1 GENERAL NOTES

- PROVIDE MANUFACTURERS RECOMMENDED SERVICE CLEARANCE FOR VAV CONTROL BOX AND PIPING TRIM SERVICING. COORDINATE LEFT/RIGHT HAND AND ACCESS DOOR LOCATION.
- ALL OPENINGS AS A RESULT OF SYSTEM REMOVAL THAT ARE EXPOSED WITHIN THE SPACE AND NOT CONCEALED ABOVE A CEILING ARE TO BE PATCHED BY THE G.C. ALL OPENINGS AS A RESULT OF SYSTEM REMOVAL THAT ARE CONCEALED ABOVE A CEILING ARE TO BE PATCHED BY THE M.C., UNLESS NOTED OTHERWISE. ALL PATCHING SCOPE OF WORK IS TO BE COORDINATED BETWEEN THE M.C. AND G.C. MAINTAIN EXISTING RATING OF WALL ASSEMBLY.
- ALL EXISTING EQUIPMENT TO REMAIN IS TO BE CONVERTED TO NEW ELECTRONIC DDC CONTROL. ALL NEW EQUIPMENT TO BE ELECTRONIC DDC CONTROL. ALL DDC CONTROL SYSTEMS FOR THE PROJECT WILL BE FURNISHED BY DAY AUTOMATION, PURCHASED BY THE DISTRICT THROUGH STATE CONTRACT.
- COORDINATE ORIENTATION OF CHILLED BEAM WITH P.C. TO ENSURE PROPER CONDENSATE DRAINING REQUIREMENTS.



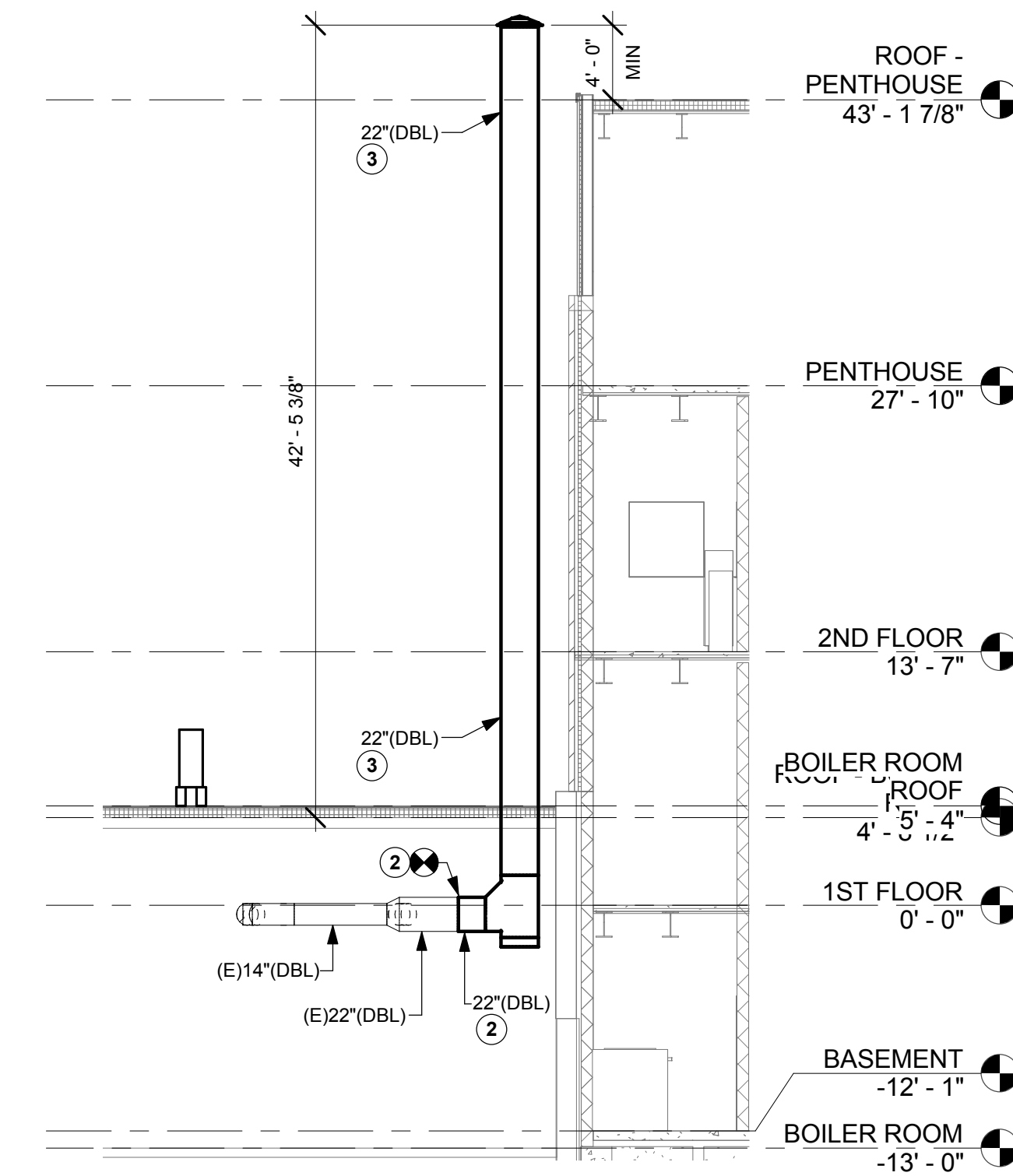
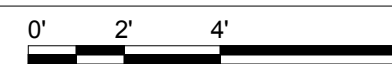
2 OUTBUILDING ROOF PLAN - PIPING
M-106.1 1/8" = 1'-0"





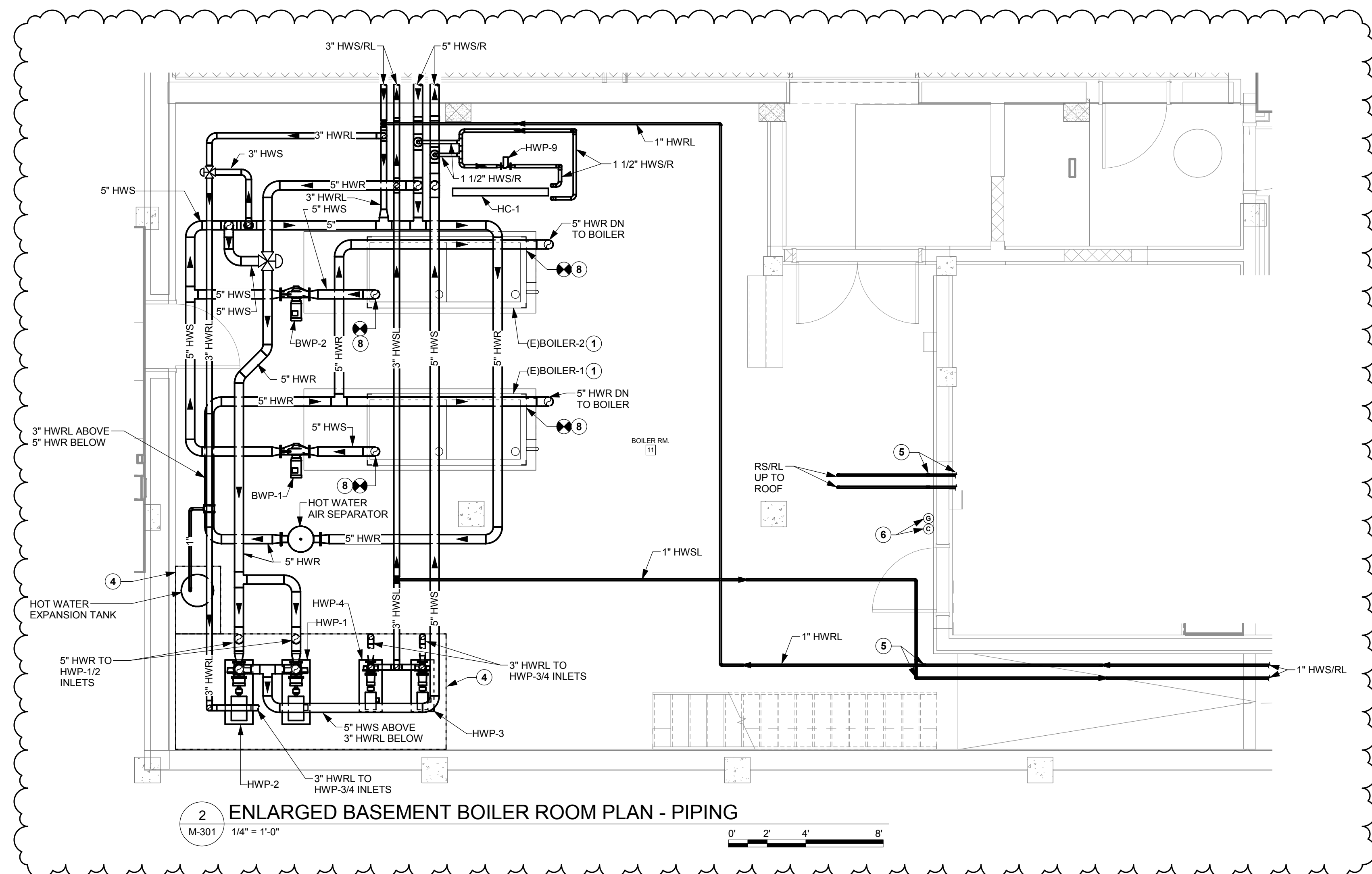
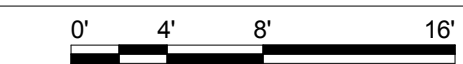
1 ENLARGED BASEMENT BOILER ROOM PLAN - DUCTWORK

M-301 1/4" = 1'-0"



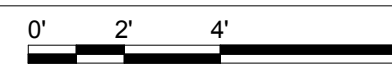
3 BOILER ROOM SECTION - HVAC

M-301 1/8" = 1'-0"



2 ENLARGED BASEMENT BOILER ROOM PLAN - PIPING

M-301 1/4" = 1'-0"



M-301 GENERAL NOTES

- A. ROUTE ALL PIPING WITHIN BOILER ROOM WITHIN 10'-0" AND 12'-0" AFF. PROVIDE CHAIN WHEELS ON ALL VALVES LOCATED ABOVE 8'-0".

M-301 DRAWING NOTES

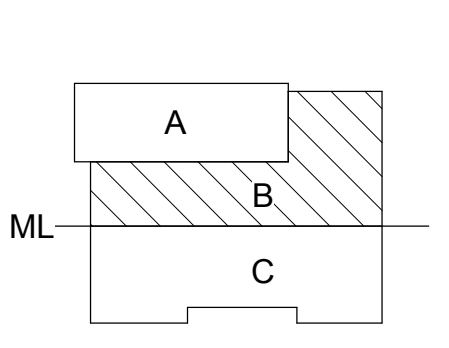
1. EXISTING STEAM BOILER (WEIL-MCLAIN 1288) TO BE CONVERTED TO HOT WATER BOILER. PROVIDE THE FOLLOWING TO ACCOMMODATE THE STEAM TO HOT WATER BOILER CONVERSION (PER BOILER): RELIEF VALVE (SIZE PER MANUFACTURER); MODULATING, OPERATING AND MANUAL RESET TEMPERATURE CONTROLS; TEMPERATURE AND PRESSURE GAUGES; PROBE TYPE AND MANUAL RESET LOW-WATER CUTOFFS; ASSOCIATED THERMOWELLS. PROVIDE BOILER STARTUP AND COMBUSTION ANALYSIS.
2. PROVIDE NEW 1" DOUBLE WALL FLUE RISER (STAINLESS STEEL INNER AND SHELL) ROUTE THROUGH EXISTING BOILER ROOM ROOF AND TERMINATE ABOVE HIGHEST ROOF ELEVATION. PROVIDE DRAINABLE TEE WITH BOOT TAP AND CONNECT TO EXISTING 22" DOUBLE WALL FLUE DUCT. PROVIDE FACTORY PLATE SUPPORT ASSEMBLY (STAINLESS STEEL) AT TEE. REFER TO STRUCTURAL DETAIL ON S-502 FOR ADDITIONAL MOUNTING INFORMATION.
3. PROVIDE FACTORY FULL ANGLE RING ASSEMBLY (STAINLESS STEEL) EVERY 12'-6" (REFER TO MANUFACTURER INSTALLATION RECOMMENDATIONS). APPROXIMATE QUANTITY OF THREE (3) FULL ANGLE RINGS REQUIRED FOR LATERAL BRACING. REFER TO STRUCTURAL DETAIL ON S-502 FOR ADDITIONAL MOUNTING INFORMATION.
4. PROVIDE 4" TALL CONCRETE EQUIPMENT PAD. COORDINATE ALL PADS WITH INSTALLED FLOOR DRAINS.
5. DROP PIPING DOWN AT MEZZANINE RAILING TO ROUTE TIGHT TO BOTTOM OF MEZZANINE STRUCTURE.
6. PROVIDE COMBINATION NATURAL GAS AND CARBON MONOXIDE SENSOR MONITOR. MONITOR SHALL SEND AN ALARM SIGNAL TO THE DDC SYSTEM UPON DETECTION OF HIGH LEVEL OF EITHER NG OR CO. MONITOR SHALL ALSO PROVIDE AUDIBLE ALARM. PROVIDE REMOTE SENSORS AND WIRE BACK TO MONITOR PANEL. INSTALL MONITOR PANEL. SENSORS, WIRING ETC PER MANUFACTURERS INSTRUCTIONS.
8. PROVIDE TRANSITION FROM OUTLET OF HEATING COIL TO EXISTING DUCTWORK. CONNECT TO (E)BOILER INLET/OUTLET. PROVIDE NEW FLANGES AND EXTENSION TO BOILER.



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-Phase 2c
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REV. #	DESCRIPTION	DATE
1	ADDENDUM 2	5/04/18

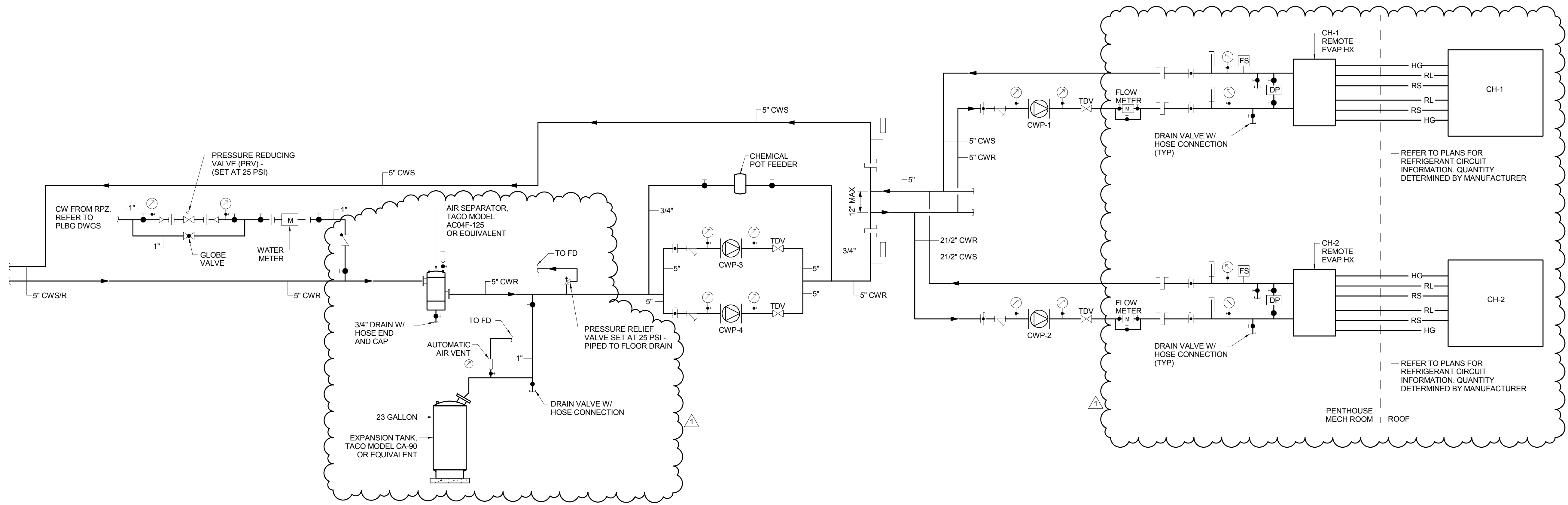
JOB NO.	1711
SCALE	AS NOTED
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CHECKED BY	AMR

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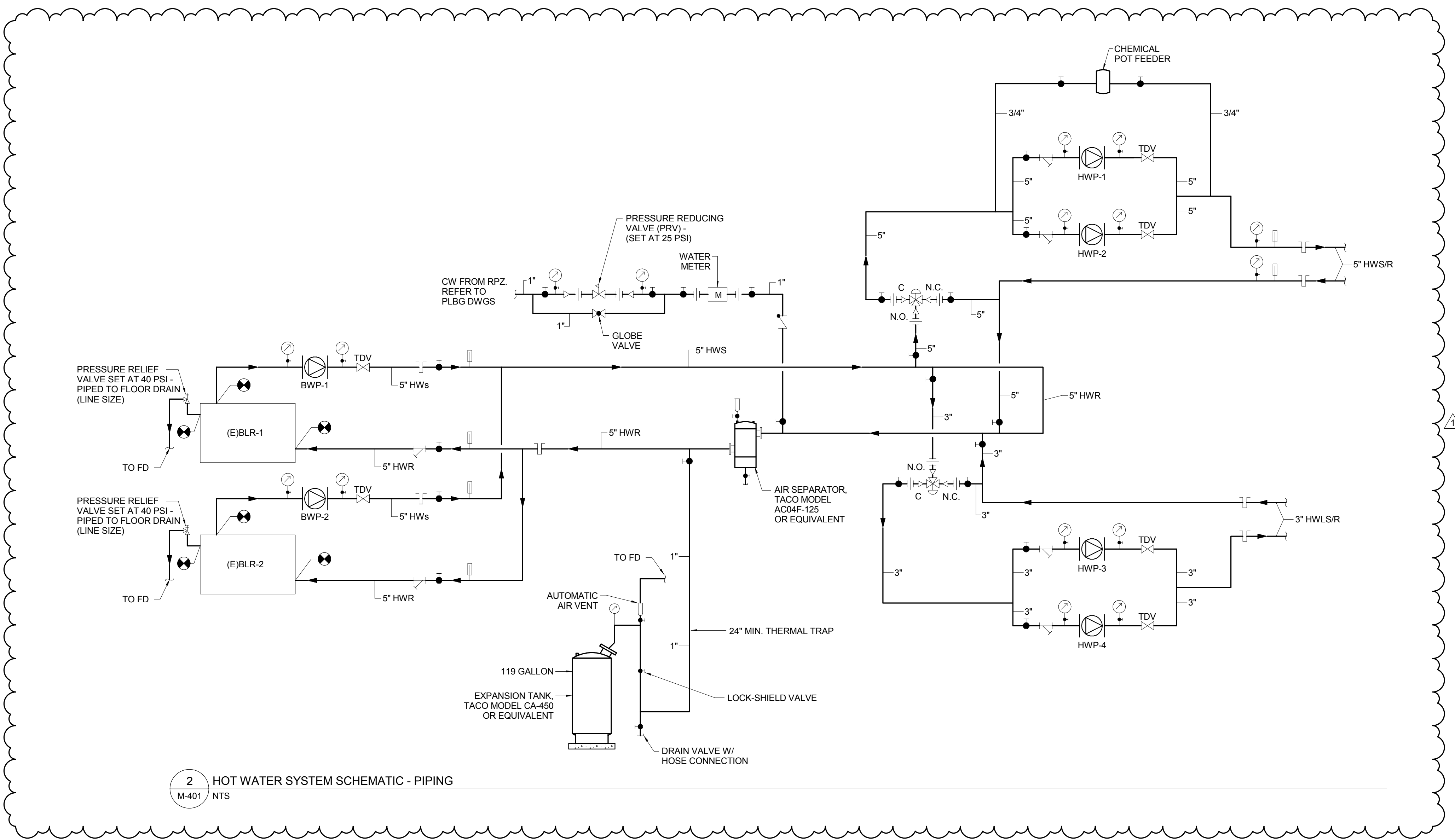
DRAWING TITLE
ENLARGED BASEMENT BOILER ROOM PLANS - HVAC

M-301

ISSUED FOR BIDDING



1 CHILLED WATER SYSTEM SCHEMATIC - PIPING
M-401 NTS



2 HOT WATER SYSTEM SCHEMATIC - PIPING
M-401 NTS

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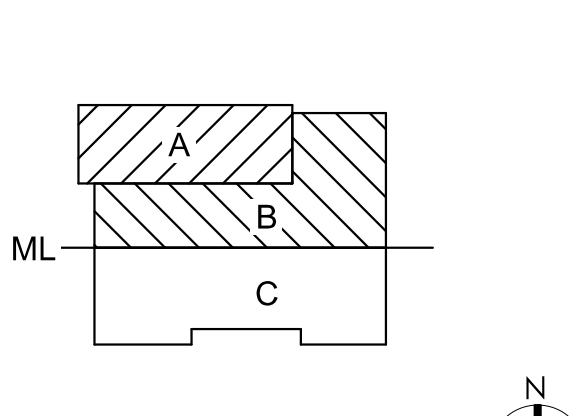
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DRAWING TITLE

PIPING SCHEMATICS - HVAC

M-401

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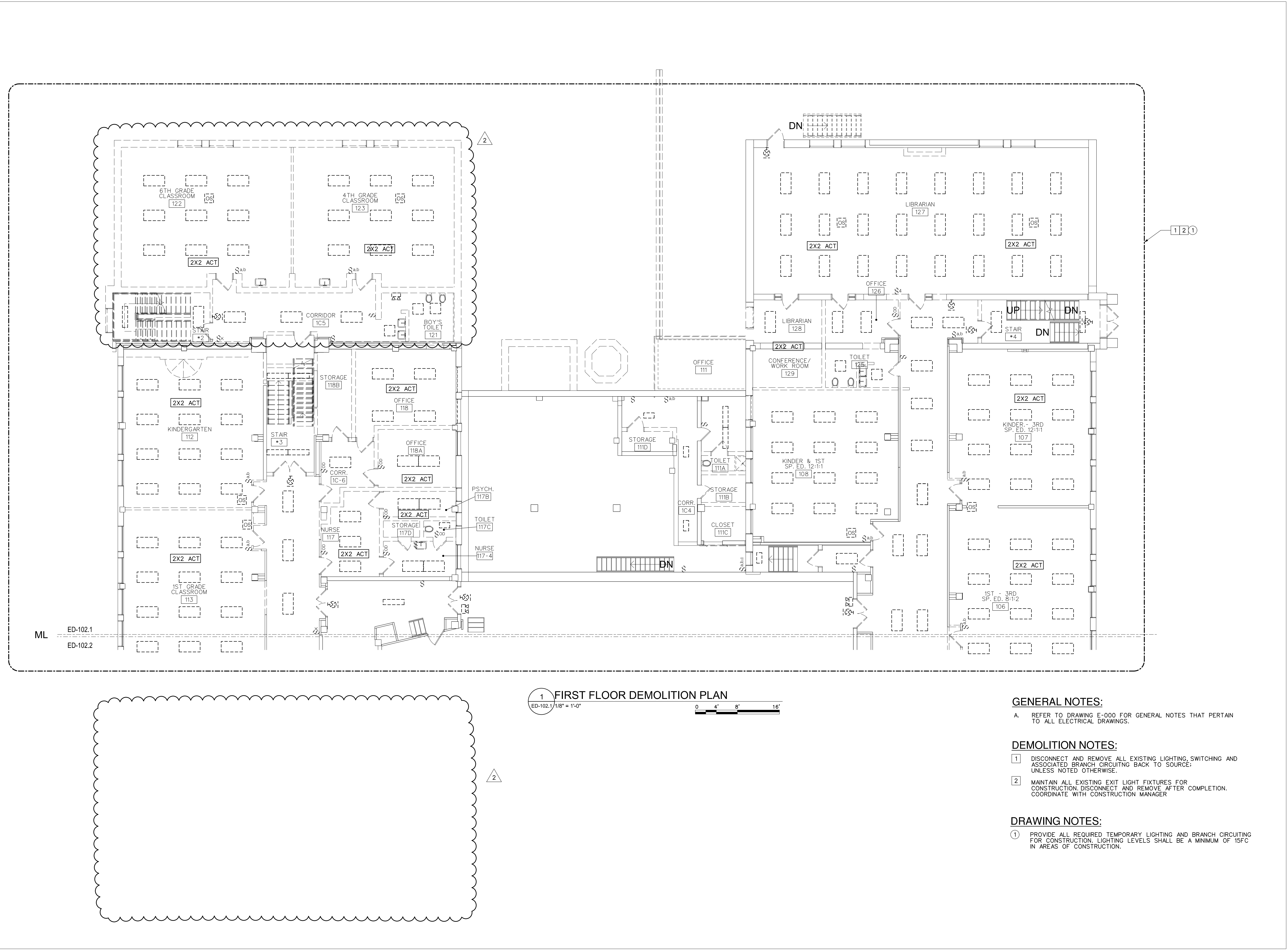
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DRAWING TITLE

**FIRST FLOOR
DEMOLITION PLAN -
LIGHTING**

ED-102.1

ISSUED FOR BIDDING



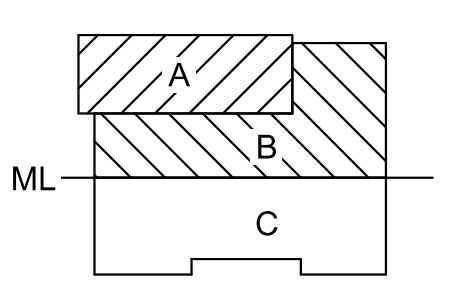
1 FIRST FLOOR DEMOLITION PLAN
ED-102.1/1/8" = 1'-0"
0 4' 8' 16'

GENERAL NOTES:
A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.

DEMOLITION NOTES:
1 DISCONNECT AND REMOVE ALL EXISTING LIGHTING, SWITCHING AND ASSOCIATED BRANCH CIRCUITING BACK TO SOURCE, UNLESS NOTED OTHERWISE.
2 MAINTAIN ALL EXISTING EXIT LIGHT FIXTURES FOR CONSTRUCTION. DISCONNECT AND REMOVE AFTER COMPLETION. COORDINATE WITH CONSTRUCTION MANAGER

DRAWING NOTES:
1 PROVIDE ALL REQUIRED TEMPORARY LIGHTING AND BRANCH CIRCUITING FOR CONSTRUCTION. LIGHTING LEVELS SHALL BE A MINIMUM OF 15FC IN AREAS OF CONSTRUCTION.

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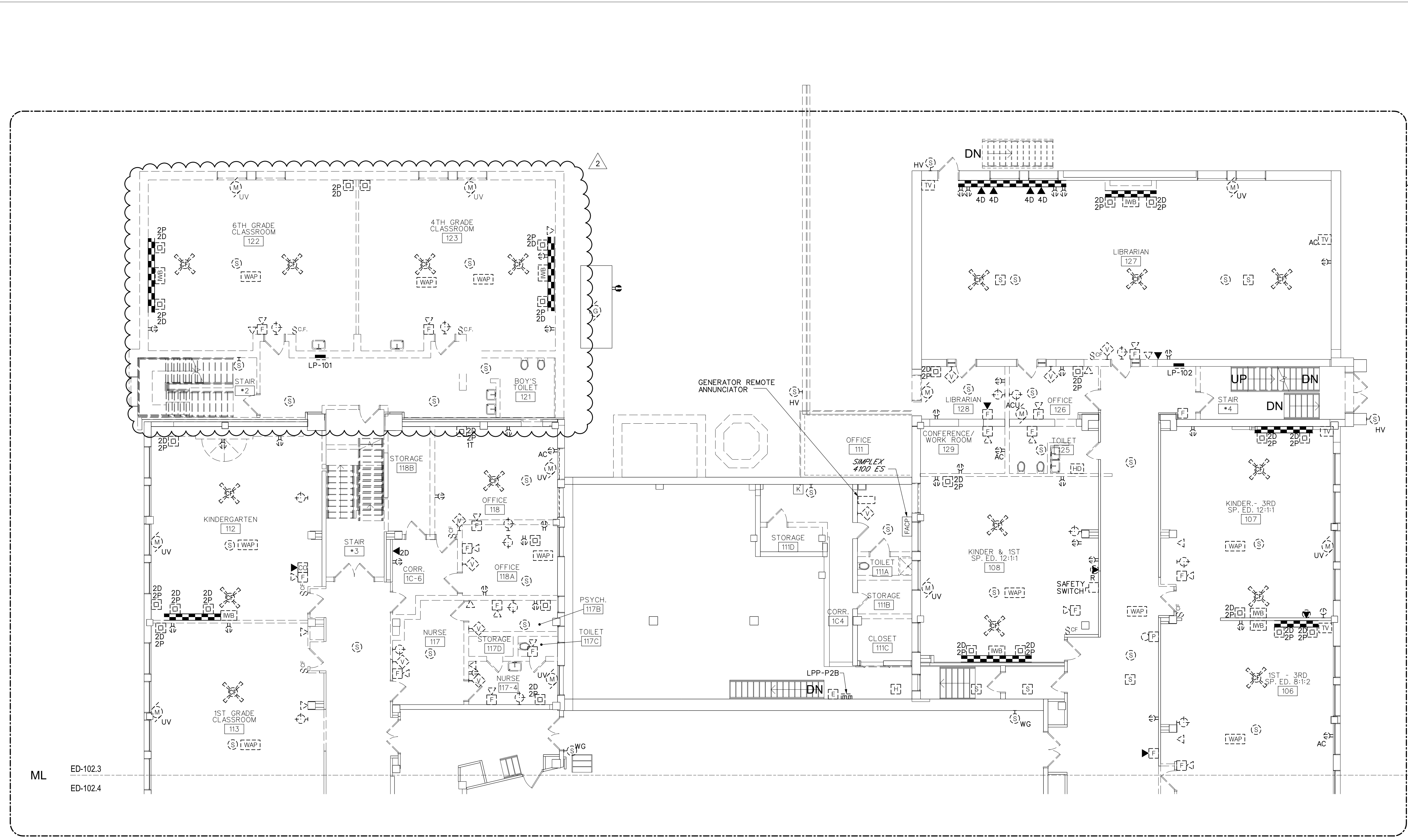
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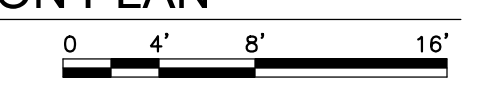
**FIRST FLOOR
DEMOLITION PLAN -
POWER AND SS**

ED-102.3

ISSUED FOR BIDDING



1 FIRST FLOOR DEMOLITION PLAN
ED-102.3/1/8" = 1'-0"



DRAWING NOTES:

- 1 PROVIDE FIRE ALARM INITIATING AND NOTIFICATION DEVICES AS INDICATED ON DRAWING OR AS REQUIRED TO SUIT FIELD AND CONSTRUCTION REQUIREMENTS. REFER TO FIRE ALARM RISER FOR ADDITIONAL WORK.

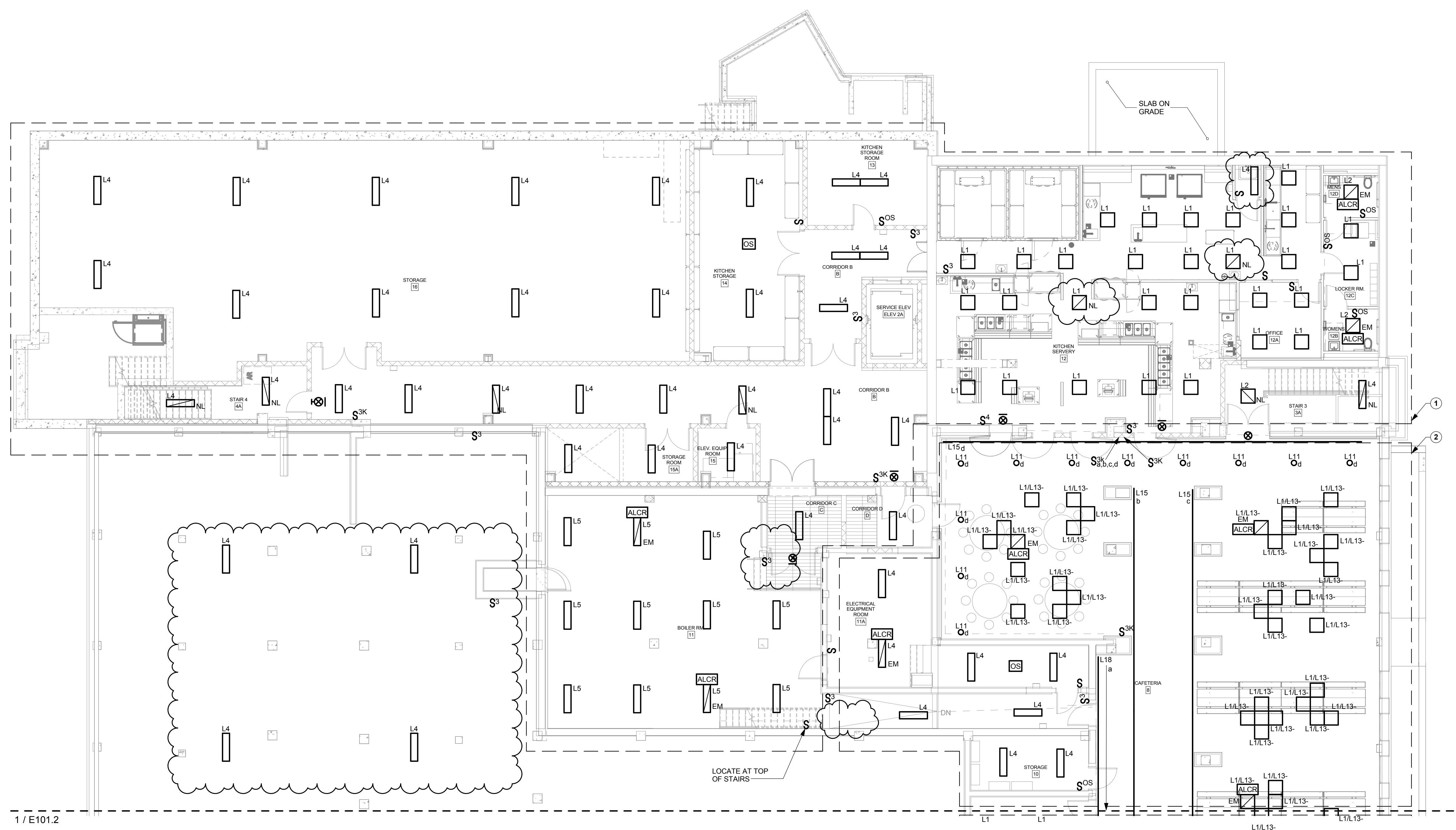
DEMOLITION NOTES:

- 1 DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES, SYSTEMS AND ASSOCIATED WIRING NOT INDICATED. THIS SHALL INCLUDE ALL BRANCH CIRCUITING, INCLUDING BUT NOT LIMITED TO WIREMOLD, CONDUIT AND ALL ASSOCIATED WIRING. MAINTAIN ALL SYSTEMS NOTED IN GENERAL NOTE B. AND C. NOTED ABOVE.

GENERAL NOTES:

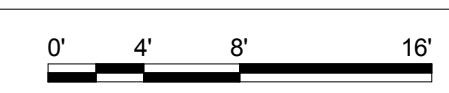
- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. ALL ACCESS CONTROL, INTRUSION DETECTION AND CCTV CAMERAS AND ASSOCIATED SYSTEMS SHALL REMAIN OPERATIONAL. MAINTAIN ALL ABOVE NOTED SYSTEMS DURING CONSTRUCTION.
- C. MAINTAIN EXISTING FIRE ALARM CONTROL PANEL AND COMMUNICATOR LOCATED IN CUSTODIAL OFFICE 114 DURING CONSTRUCTION. MAINTAIN ALL NOTIFICATION DEVICES IN BOILER RM., CORRIDORS, GYM, CAFETERIA, LIBRARY AND EGRESS PATHES FOR CONSTRUCTION. MAINTAIN ALL PULLSTATIONS AT EXTERIOR EXITS.
- D. DISCONNECT AND REMOVE ALL CEILING FANS, SPEAKERS, CLOCKS, DEVICES, RECEPTACLES AND ASSOCIATED BRANCH CIRCUITING, HOME RUNS, CABLING, ETC., BACK TO SOURCE. EXISTING CONDITIONS ARE TAKEN FROM FIELD OBSERVATIONS AND PRIOR CONSTRUCTION DOCUMENTS WHEN AVAILABLE AND ARE NOT GUARANTEED. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BID. NO ALLOWANCE WILL BE MADE FOR ADDITIONAL COSTS DUE TO CONTRACTOR'S FAILURE TO FIELD VERIFY EXISTING CONDITIONS.
- E. DISCONNECT AND REMOVE ALL SYSTEMS NOTED ABOVE AFTER WORK REQUIRED IS COMPLETED.





1 / E101.2

1 BASEMENT PLAN - A/B - LIGHTING
1/8" = 1'-0"



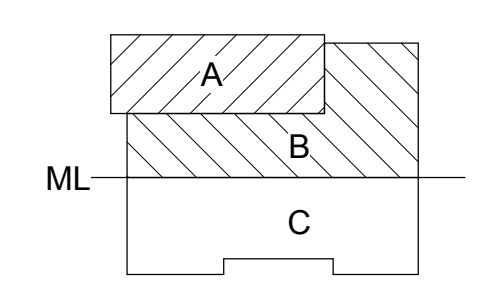
E101.1 GENERAL NOTES

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #14. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'NL' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN ROOM PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #16. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- D. REFER TO POWER & SS DRAWINGS FOR PANELBOARD LOCATIONS.

E101.1 DRAWING NOTES

- 1 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HN1B-1 LOCATED IN ELECTRICAL ROOM 11A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #1. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 2 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HN1B-1 LOCATED IN ELECTRICAL ROOM 11A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #2. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.

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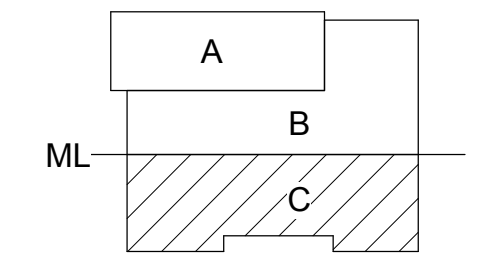
DRAWING TITLE

**BASEMENT PLAN -
A/B - LIGHTING**

E101.1

ISSUED FOR BIDDING

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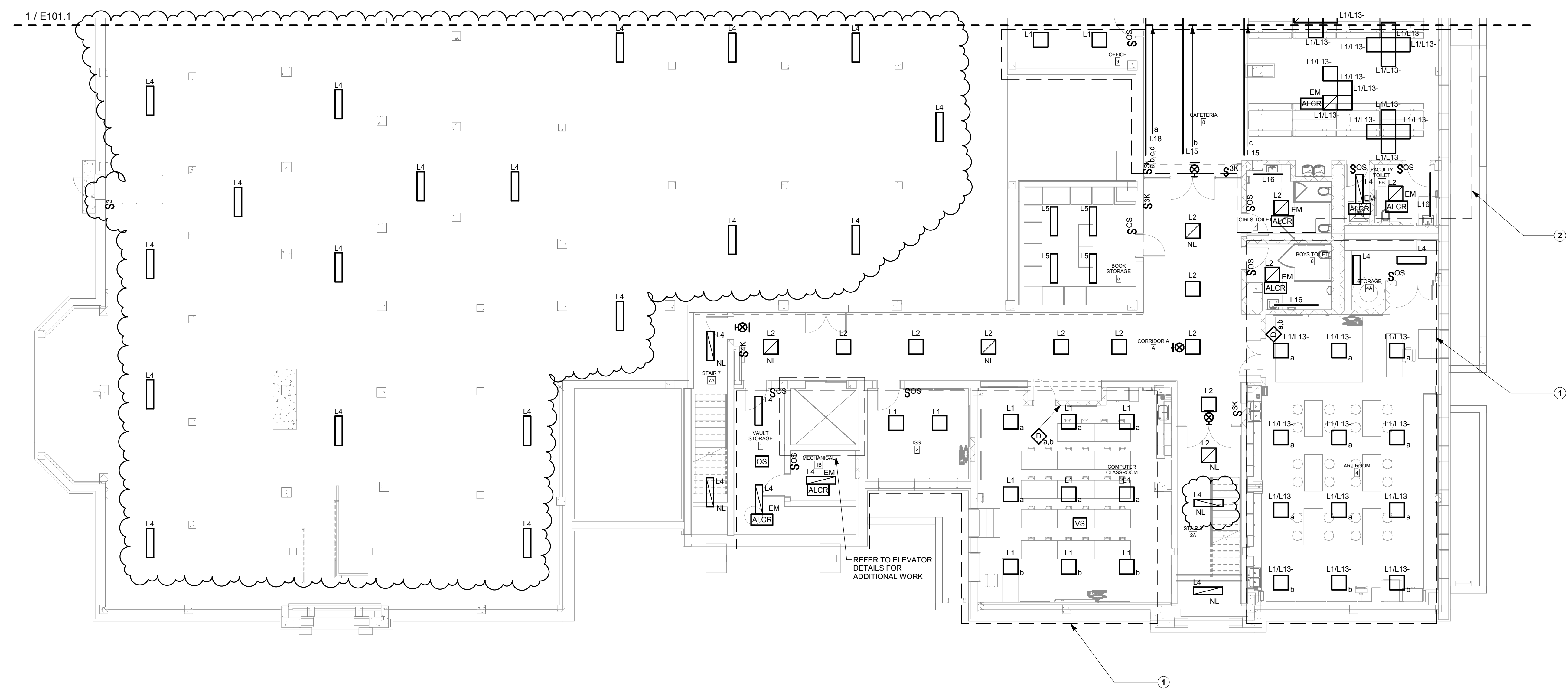
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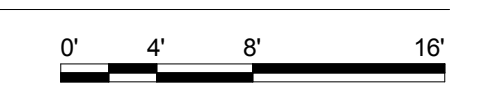
**BASEMENT PLAN - C
- LIGHTING**

E101.2

ISSUED FOR BIDDING



1 BASEMENT PLAN - C - LIGHTING
1/8" = 1'-0"



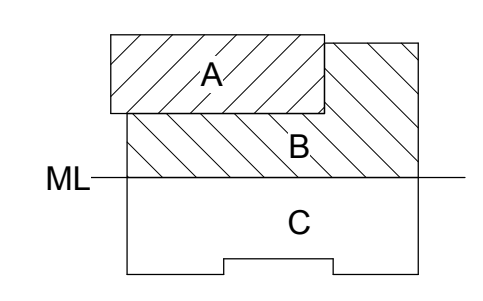
E101.2 GENERAL NOTES

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #20. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'NL' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN ROOM PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #22. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- D. PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN CORRIDOR FROM PANEL HNLB-1 LOCATED IN ROOM 11A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #10. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- E. REFER TO POWER & SS DRAWINGS FOR PANELBOARD LOCATIONS.

E101.2 DRAWING NOTES

- 1 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNLB-1 LOCATED IN ELECTRICAL ROOM 11A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #3. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 2 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNLB-1 LOCATED IN ELECTRICAL ROOM 11A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #4. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.

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FIRST FLOOR PLAN - A/B - LIGHTING

E102.1

ISSUED FOR BIDDING



1 FIRST FLOOR PLAN - A/B - LIGHTING
1/8" = 1'-0"



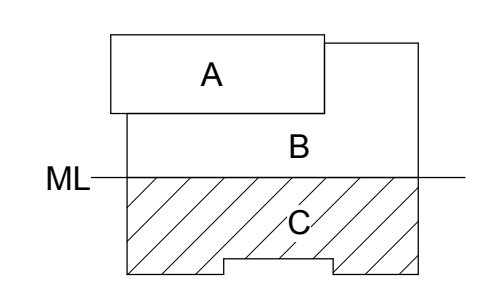
E102.1 GENERAL NOTES

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #1. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT "NL" ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #3. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- D. PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN CORRIDOR FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #1. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- E. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT "EM" ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #5. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- F. REFER TO POWER & SS DRAWINGS FOR PANELBOARD LOCATIONS.

E102.1 DRAWING NOTES

- 1 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #3. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 2 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #5. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 3 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #7. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 4 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #9. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.

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ISSUE DATE	4/9/18
DRAWN BY	Author
CHECKED BY	Checker

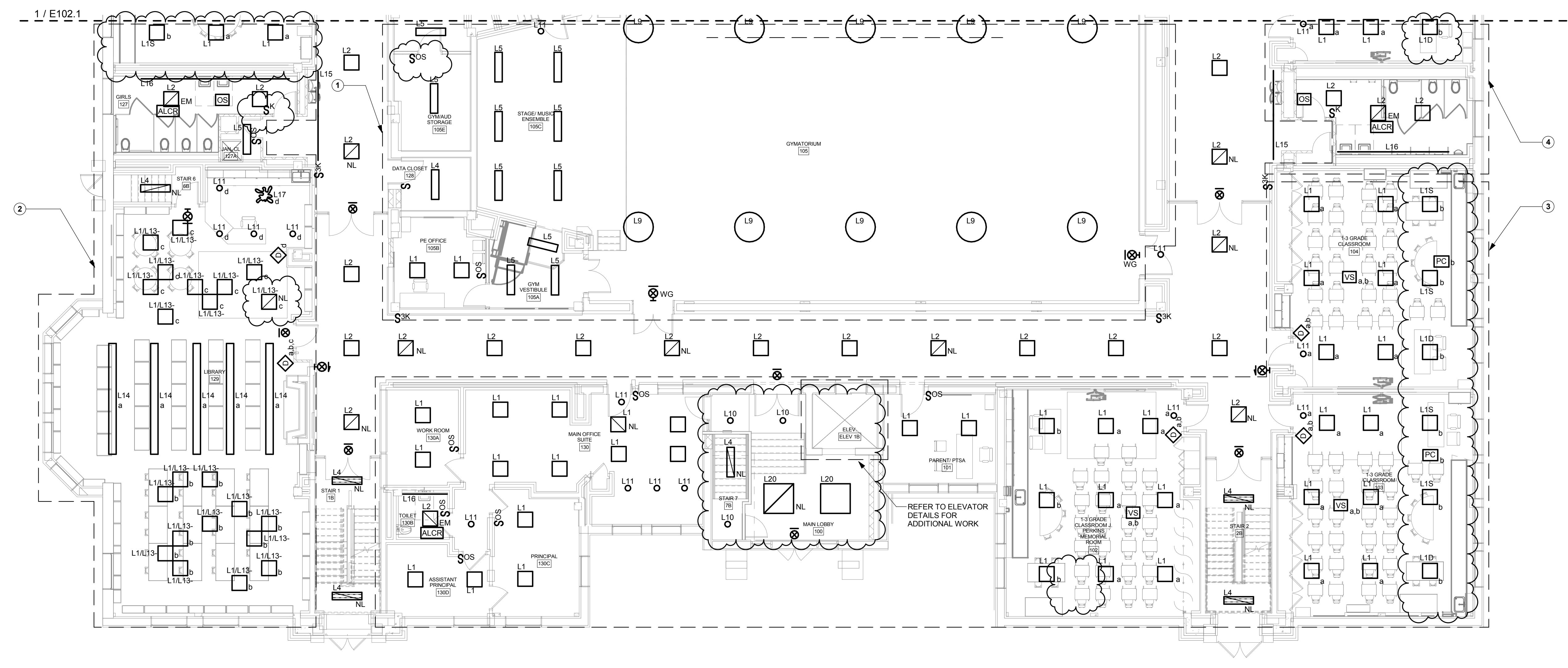
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DRAWING TITLE

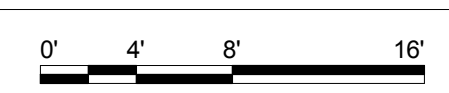
FIRST FLOOR PLAN - C - LIGHTING

E102.2

ISSUED FOR BIDDING



1 FIRST FLOOR PLAN - C - LIGHTING
1/8" = 1'-0"



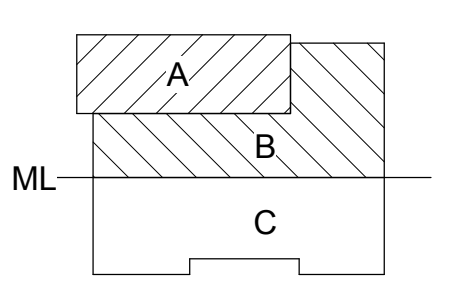
E102.2 GENERAL NOTES

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #7. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'NL' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #9. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- D. PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN CORRIDOR FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #2. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- E. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'EM' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #11. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- F. REFER TO POWER & SS DRAWINGS FOR PANELBOARD LOCATIONS.

E102.2 DRAWING NOTES

- 1 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #4. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 2 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #6. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 3 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #8. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.
- 4 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL1-1 LOCATED IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #10. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4" C.

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
George M. Forbes- Renovation, Alterations
and Addition

198 Dr Samuel McCree Way,
Rochester, NY 14611

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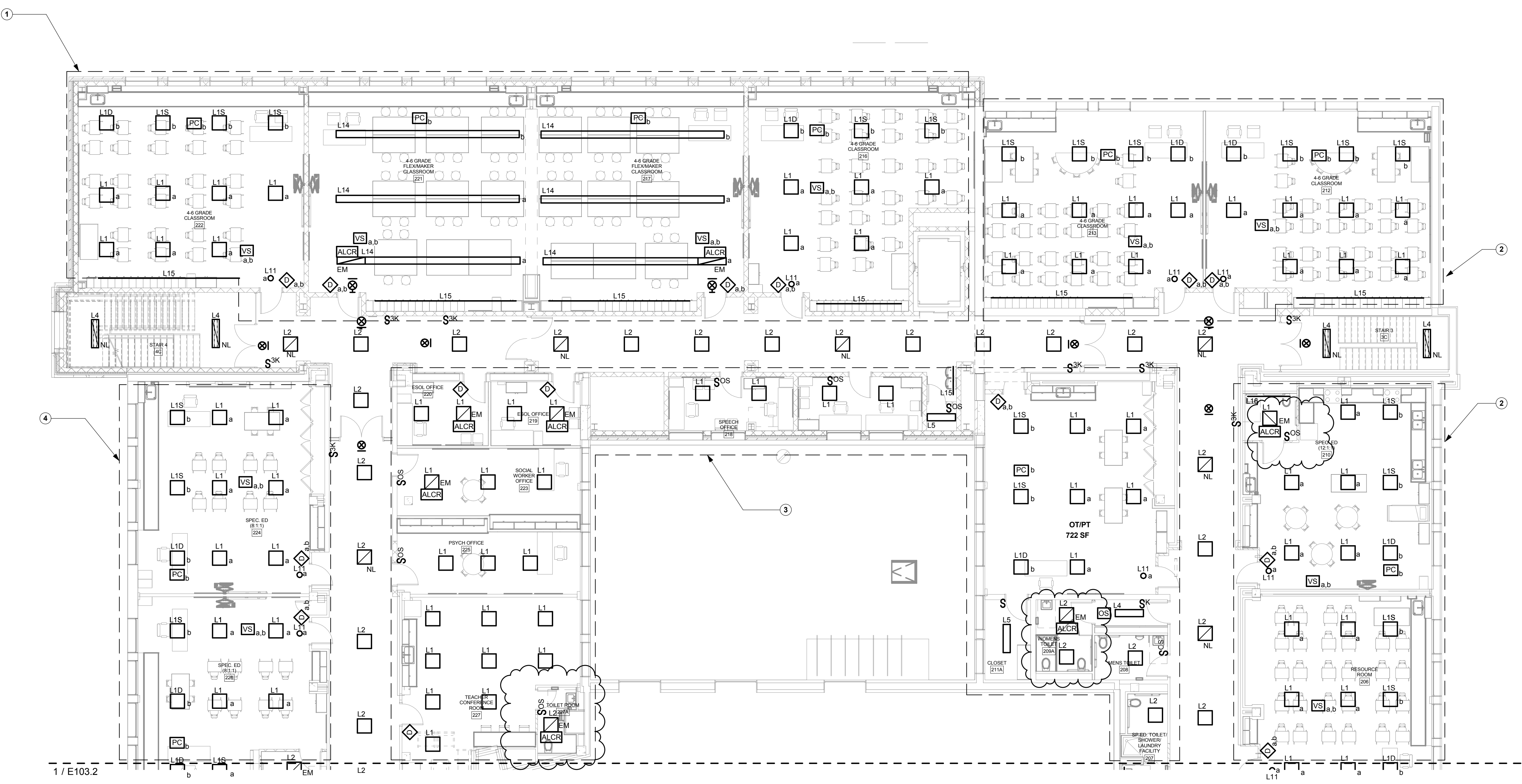
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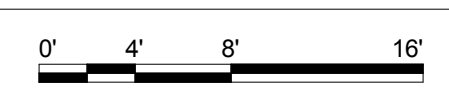
SECOND FLOOR PLAN - A/B - LIGHTING

E103.1

ISSUED FOR BIDDING



1 SECOND FLOOR PLAN - A/B - LIGHTING
1/8" = 1'-0"

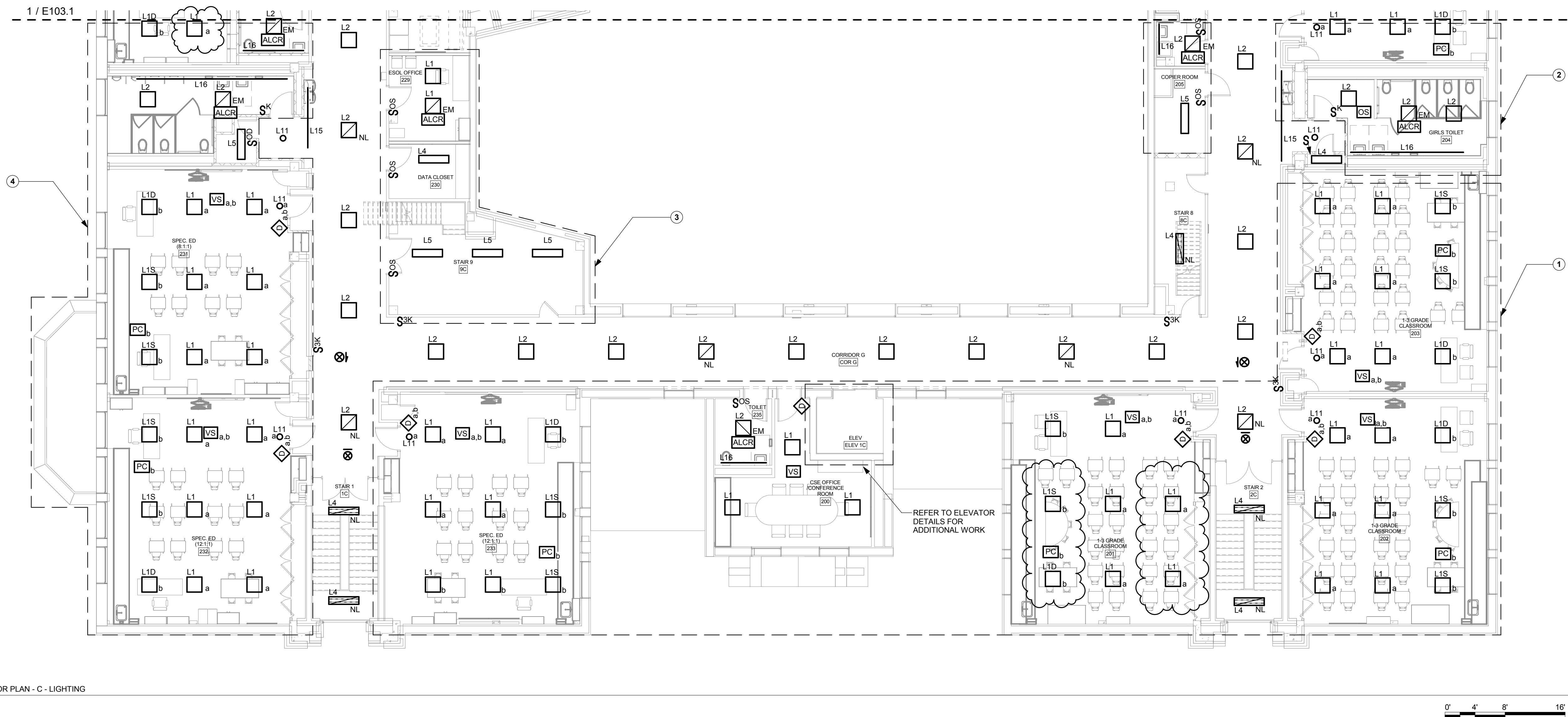


E103.1 GENERAL NOTES

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #2. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'NL' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #4. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- D. PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN CORRIDOR FROM PANEL HNL2-1 LOCATED IN ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #1. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- E. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'EM' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #6. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- F. REFER TO POWER & SS DRAWINGS FOR PANELBOARD LOCATIONS.

E103.1 DRAWING NOTES

- 1 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #3. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- 2 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #5. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- 3 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #7. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- 4 PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #9. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.



1 SECOND FLOOR PLAN - C - LIGHTING
1/8" = 1'-0"

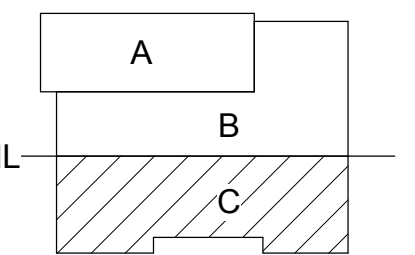
E103.2 GENERAL NOTES

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING USING PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #8. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- C. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'NL' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #10. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- D. PROVIDE 277V NORMAL LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN CORRIDOR FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #2. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- E. PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES DENOTED AS BEING CONNECTED TO AN EMERGENCY LIFE SAFETY CIRCUIT 'EM' ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #12. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- F. REFER TO POWER & SS DRAWINGS FOR PANELBOARD LOCATIONS.

E103.2 DRAWING NOTES

- ① PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #4. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- ② PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #6. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- ③ PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #8. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.
- ④ PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNL2-1 LOCATED IN ELECTRICAL ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #10. PROVIDE BRANCH CIRCUIT USING 2-#10, 1-#10EG, 3/4"C.

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

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DWT SED #
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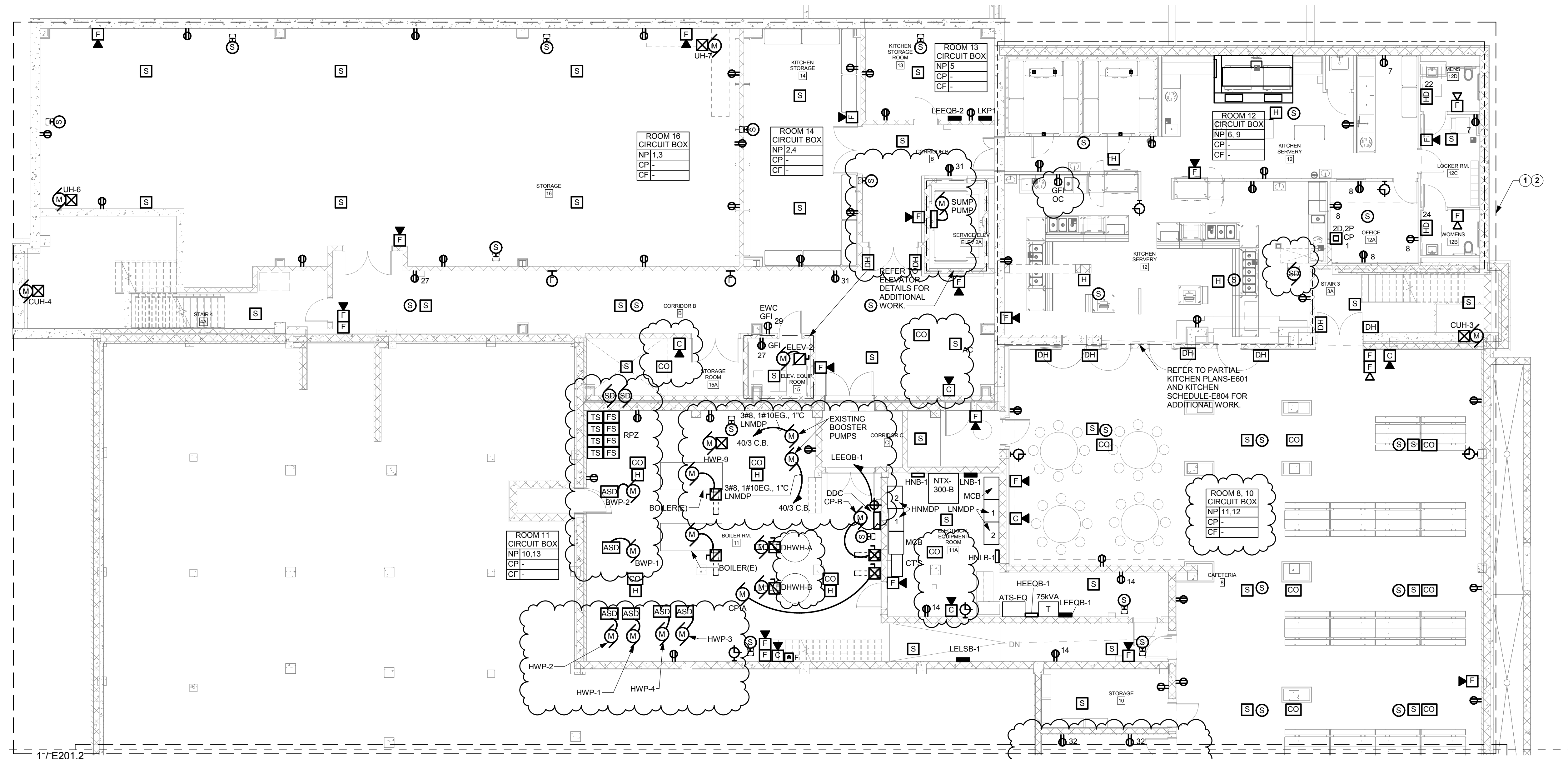
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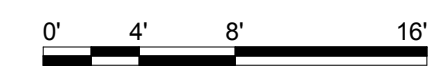
**SECOND FLOOR
PLAN - C- LIGHTING**

E103.2

ISSUED FOR BIDDING



1 BASEMENT PLAN - A/B - POWER AND SS
1/8" = 1'-0"

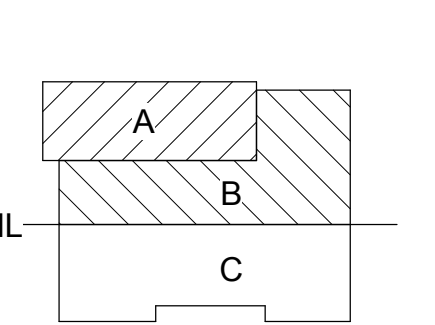


E201.1 DRAWING NOTES

- 1 PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LNB-1 IN ROOM 11A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 2 PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES IN THIS AREA FROM PANEL CP-1 IN MEZZ-111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.

E201.1 GENERAL NOTES

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. ALL CEILING FANS SHALL BE MOUNTED SUCH THAT THE BOTTOM OF THE CEILING FAN IS AT 7'-8" AFF.
- C. ALL BOILER AND RECEIVING ROOM GFI RECEPTACLES SHALL BE 48" AFF.
- D. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) INDICATED ON DRAWINGS FROM PANEL LNB-1 IN ROOM 11A UNLESS OTHERWISE INDICATED. CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.
- E. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES INDICATED ON DRAWING FROM PANEL CP-1 IN MEZZ. 111 UNLESS NOTED OTHERWISE. IN ADDITION TO 'CP' DESIGNATION, CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.
- F. ALL DUPLEX RECEPTACLES IN KITCHEN SHALL BE GFCI RATED.



DR. SAMUEL MCCREE WAY

KEY PLAN

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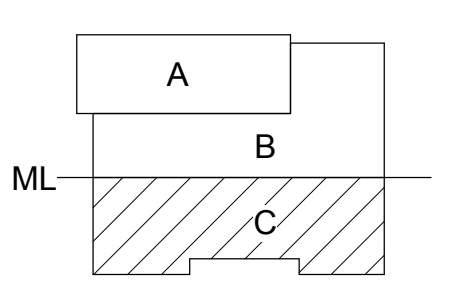
DRAWING TITLE

BASEMENT PLAN - A/B - POWER AND SS

E201.1

ISSUED FOR BIDDING

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

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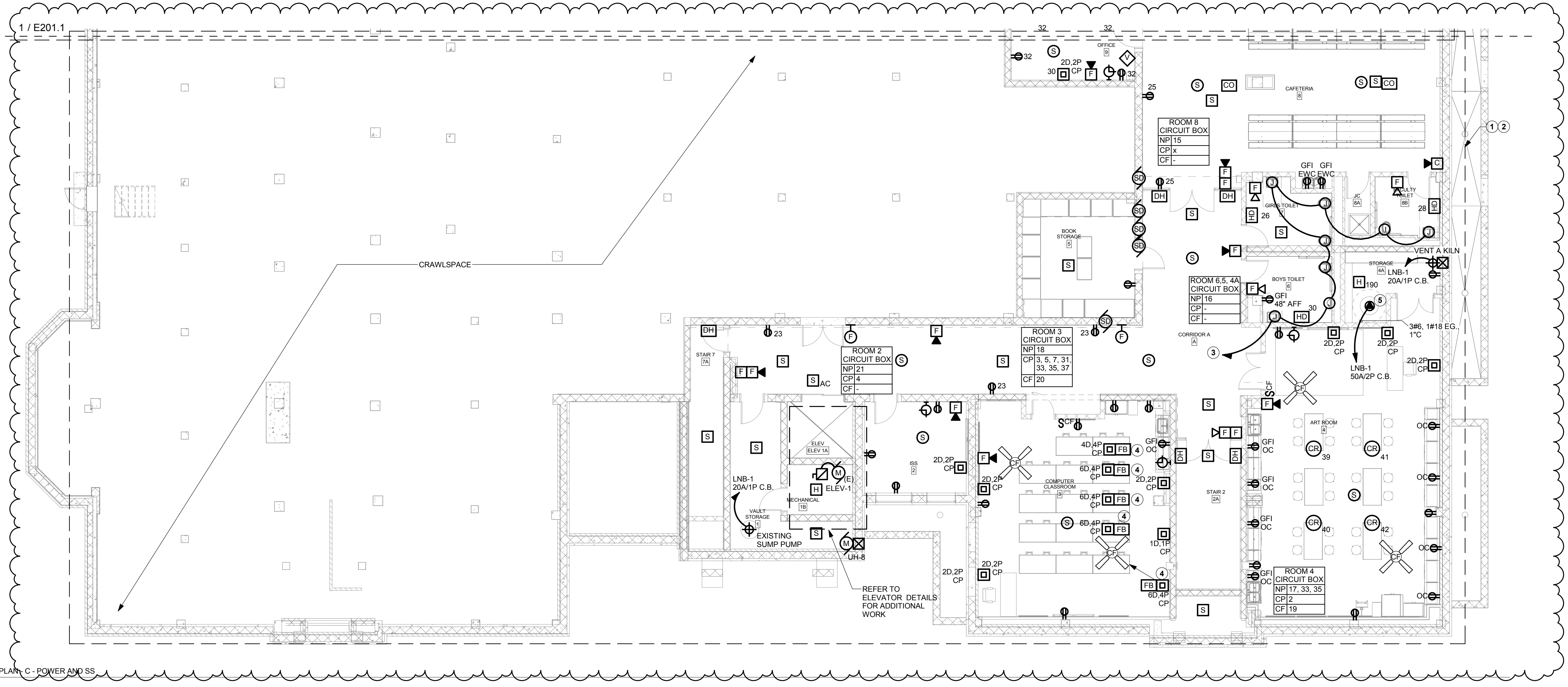
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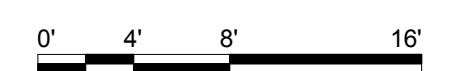
**BASEMENT PLAN - C
- POWER AND SS**

E201.2

ISSUED FOR BIDDING



1 BASEMENT PLAN - C - POWER AND SS
1/8" = 1'-0"



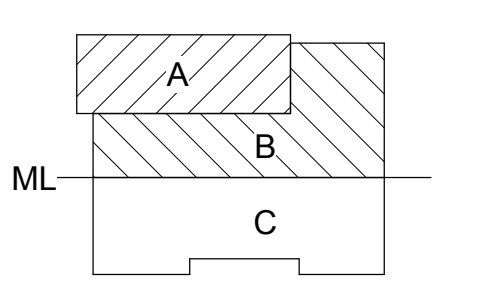
E201.2 DRAWING NOTES

1. PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LNB-1 IN ROOM 11A UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
2. PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES IN THIS AREA FROM PANEL CP-1 IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
3. INSTALL LOW VOLTAGE TRANSFORMER ABOVE ACCESSIBLE CEILING SPACE IN TOILET ROOM. PROVIDE POWER CONNECTION TO THE TRANSFORMER USING A DEDICATED 120V, 20A NORMAL BRANCH CIRCUIT AND HOME RUN FROM PANEL LNB-1 UNLESS OTHERWISE NOTED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND QUANTITIES OF THE LOW VOLTAGE TRANSFORMERS.
4. PROVIDE ALL SAW CUTTING AND PATCHING OF FLOOR TO ACCOMMODATE FLOORBOX.
5. PROVIDE KILN RECEPTACLE; NEMA RATING TO BE COORDINATED AND VERIFIED IN THE FIELD.

E201.2 GENERAL NOTES

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. ALL CEILING FANS SHALL BE MOUNTED SUCH THAT THE BOTTOM OF THE CEILING FAN IS AT 7'-8" AFF.
- C. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) INDICATED ON DRAWINGS FROM PANEL LNB-1 IN ROOM 11A UNLESS OTHERWISE INDICATED. CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.
- D. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES INDICATED ON DRAWING FROM PANEL CP-1 IN MEZZ. 111 UNLESS NOTED OTHERWISE. IN ADDITION TO 'CP' DESIGNATION, CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

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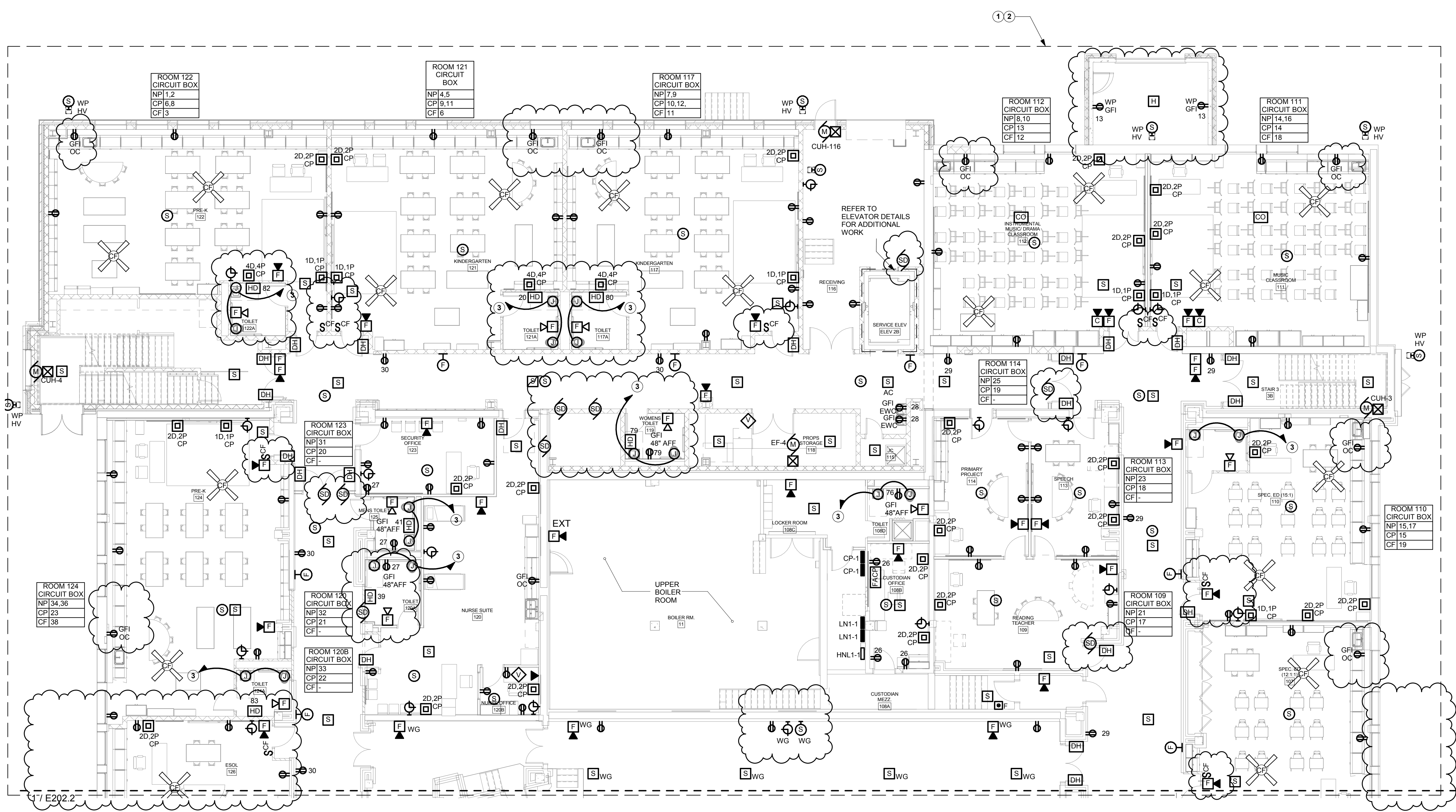
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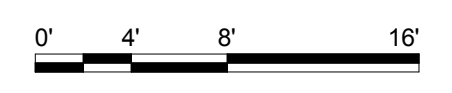
FIRST FLOOR PLAN - A/B - POWER AND SS

E202.1

ISSUED FOR BIDDING



1 FIRST FLOOR PLAN - A/B - POWER AND SS
1/8" = 1'-0"

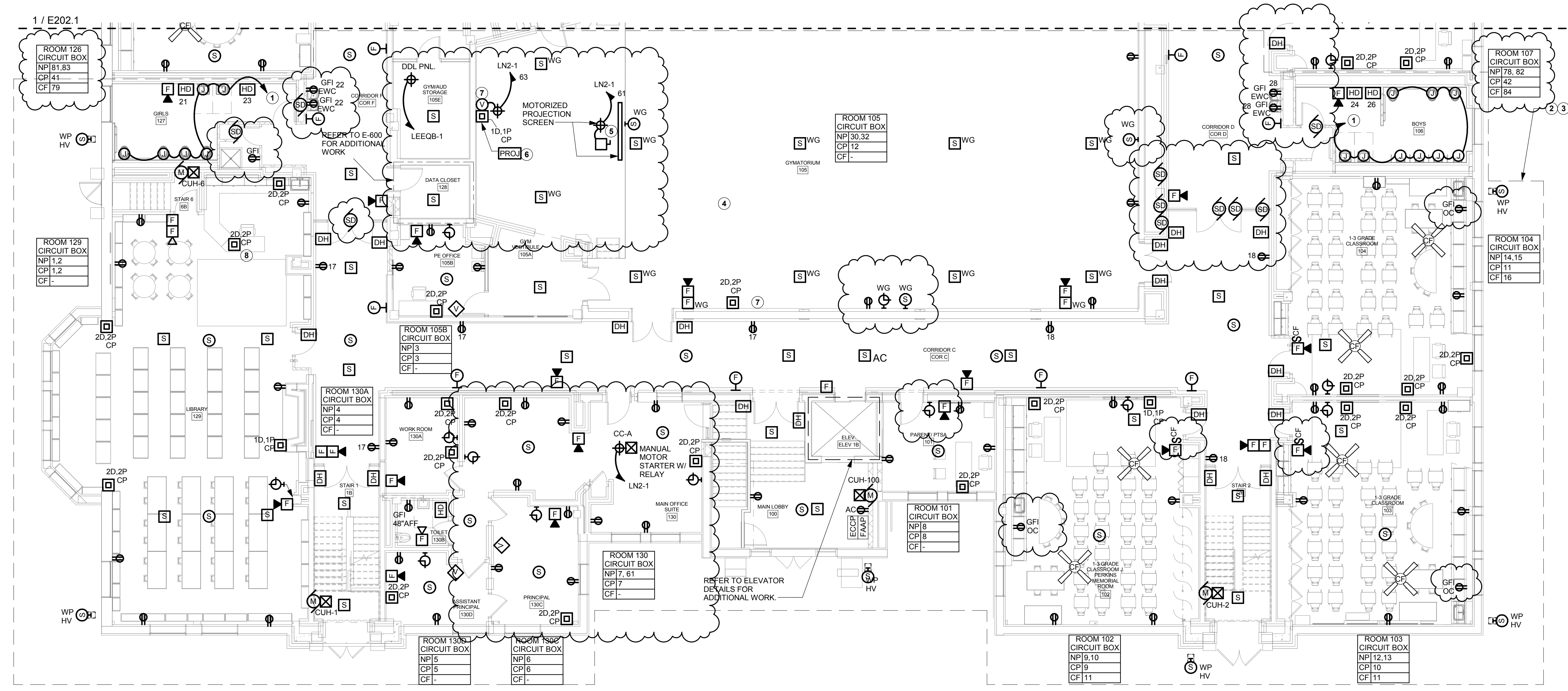


E202.1 DRAWING NOTES

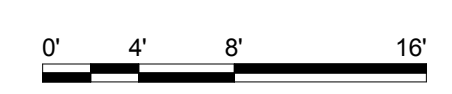
- 1 PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LN1-1 IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 2 PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES IN THIS AREA FROM PANEL CP-1 IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 3 INSTALL LOW VOLTAGE TRANSFORMER ABOVE ACCESSIBLE CEILING SPACE IN TOILET ROOM. PROVIDE POWER CONNECTION TO THE TRANSFORMER USING A DEDICATED 120V, 20A NORMAL BRANCH CIRCUIT AND HOME RUN FROM PANEL LN1-1 UNLESS OTHERWISE NOTED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND QUANTITIES OF THE LOW VOLTAGE TRANSFORMERS

E202.1 GENERAL NOTES

- A REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B ALL CEILING FANS SHALL BE MOUNTED SUCH THAT THE BOTTOM OF THE CEILING FAN IS AT 7'-8" AFF.
- C COORDINATE ALL WALL MOUNTED DEVICES IN GYM WITH WALL PADDING AND G.C. G.C. TO CUT AND PREPARE ALL PADDING TO ACCOMMODATE DEVICES.
- D FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) INDICATED ON DRAWINGS FROM PANEL LN1-1 IN MEZZ. 111 UNLESS OTHERWISE INDICATED. CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.
- E FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES INDICATED ON DRAWING FROM PANEL CP-1 IN MEZZ. 111 UNLESS NOTED OTHERWISE. IN ADDITION TO 'CP' DESIGNATION, CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.



1 FIRST FLOOR PLAN - C - POWER AND SS
1/8" = 1'-0"



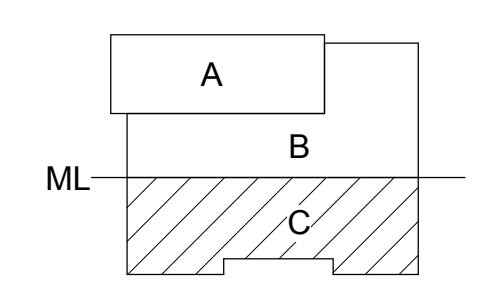
E202.2 DRAWING NOTES

1. INSTALL LOW VOLTAGE TRANSFORMER ABOVE ACCESSIBLE CEILING SPACE IN TOILET ROOM. PROVIDE POWER CONNECTION TO THE TRANSFORMER USING A DEDICATED 120V, 20A NORMAL BRANCH CIRCUIT AND HOME RUN FROM PANEL LN2-1 UNLESS OTHERWISE NOTED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND QUANTITIES OF THE LOW VOLTAGE TRANSFORMERS.
2. PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LN2-1 IN STORAGE ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
3. PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES IN THIS AREA FROM PANEL CP-2 IN STORAGE ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
4. PROVIDE GYM PUBLIC ADDRESS (SOUND SYSTEM) PRIORITY RELAY AND CONNECT TO EXISTING SYSTEM.
5. PROVIDE MOTORIZED PROJECTION SCREEN, DRAPER MODEL, PARAGON SERIES DESIGN FOR REAR HO PROJECTOR, 16:9 FORMAT, WITH BLACK HOUSING AND EXTRA MATERIAL TO ACCOMMODATE VIEWING.
6. PROVIDE REAR HO PROJECTOR. COORDINATE WITH RCSD MODEL TYPE AND SIZES.
7. PROVIDE TWO (2)-HDMI AND ONE (1) VGA CABLE FROM LOCATION SHOWN TO HO REAR PROJECTOR.
8. PROVIDE DUAL COMPARTMENT RACEWAY AND ROUTE POWER/DATA UNDER CIRCULATION FURNITURE.

E202.2 GENERAL NOTES

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. ALL CEILING FANS SHALL BE MOUNTED SUCH THAT THE BOTTOM OF THE CEILING FAN IS AT 7'-8" AFF.
- C. COORDINATE ALL WALL MOUNTED DEVICES IN GYM WITH WALL PADDING AND G.C. TO CUT AND PREPARE ALL PADDING TO ACCOMMODATE DEVICES.
- D. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) INDICATED ON DRAWINGS FROM PANEL LN2-1 IN STORAGE ROOM 9C UNLESS OTHERWISE INDICATED. CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.
- E. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES INDICATED ON DRAWING FROM PANEL CP-2 IN STORAGE ROOM 9C UNLESS NOTED OTHERWISE. IN ADDITION TO 'CP' DESIGNATION, CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
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-Phase 2c
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and Addition

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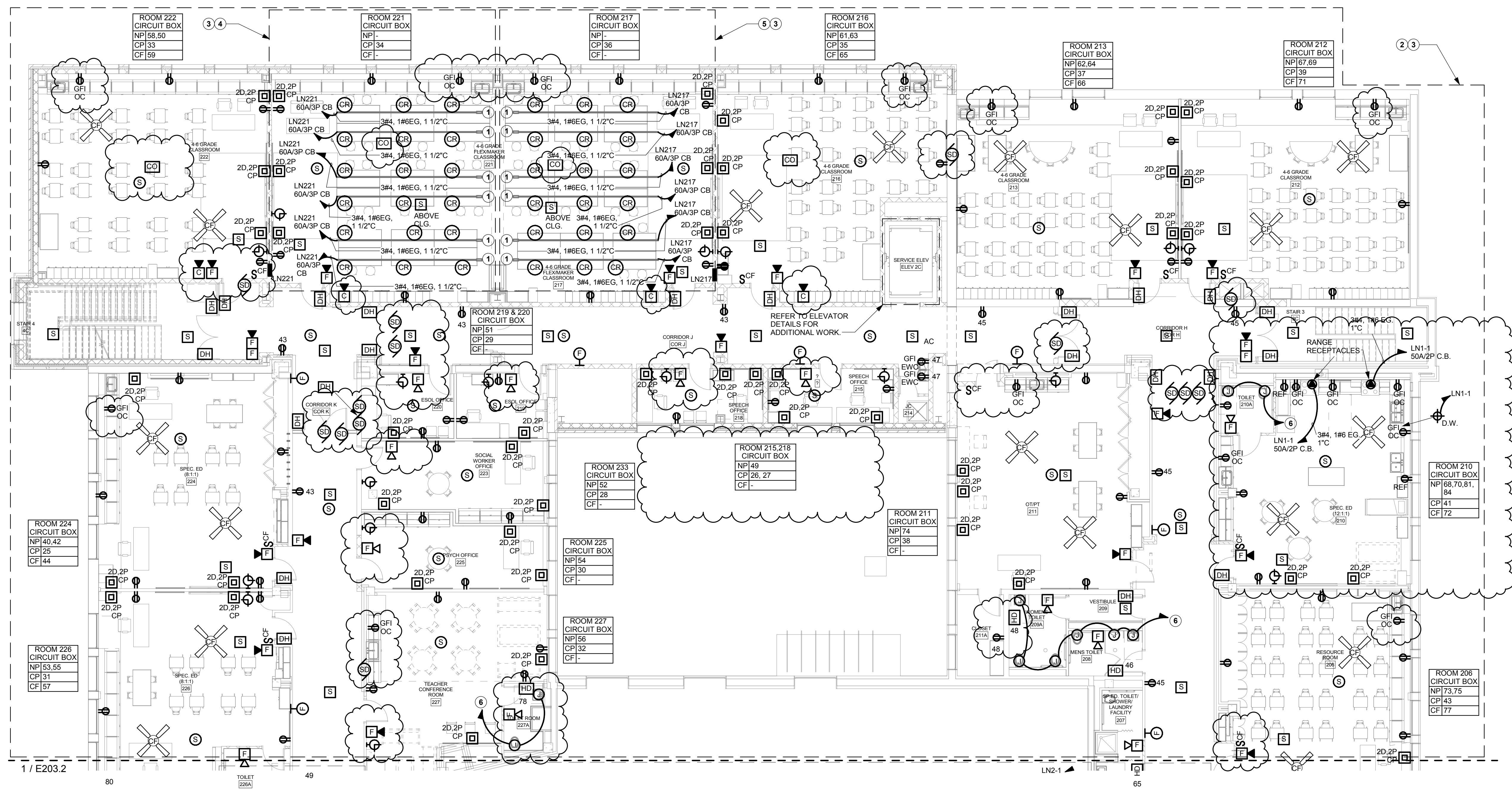
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DRAWING TITLE

FIRST FLOOR PLAN - C - POWER AND SS

E202.2

ISSUED FOR BIDDING



1 SECOND FLOOR PLAN - A/B - POWER AND SS
1/8" = 1'-0"

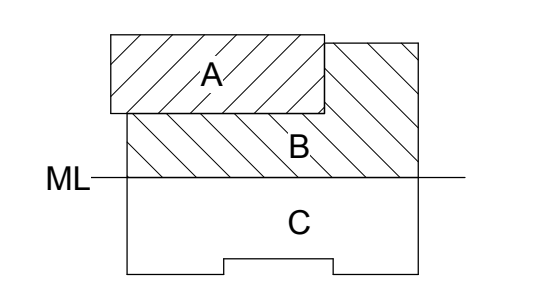
E203.1 DRAWING NOTES

- 1 PROVIDE BUSDUCT SYSTEM AS SHOWN. SHALL BE STARLING SERIES B60 TYPE.
- 2 PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LN1-1 IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 3 PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES IN THIS AREA FROM PANEL CP-1 IN MEZZ. 111 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 4 PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LN217 IN ROOM 217 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 5 PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LN221 IN ROOM 221 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 6 INSTALL LOW VOLTAGE TRANSFORMER ABOVE ACCESSIBLE CEILING SPACE IN TOILET ROOM. PROVIDE POWER CONNECTION TO THE TRANSFORMER USING A DEDICATED 120V, 20A NORMAL BRANCH CIRCUIT AND HOME RUN FROM PANEL LN1-1 UNLESS OTHERWISE NOTED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND QUANTITIES OF THE LOW VOLTAGE TRANSFORMERS.

E203.1 GENERAL NOTES

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. ALL CEILING FANS SHALL BE MOUNTED SUCH THAT THE BOTTOM OF THE CEILING FAN IS AT 7'-8" AFF.
- C. COORDINATE ALL WALL MOUNTED DEVICES IN GYM WITH WALL PADDING AND G.C. TO CUT AND PREPARE ALL PADDING TO ACCOMMODATE DEVICES.
- D. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) INDICATED ON DRAWINGS FROM PANEL LN1-1 IN MEZZ. 111 UNLESS OTHERWISE INDICATED. CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.
- E. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES INDICATED ON DRAWING FROM PANEL CP-1 IN MEZZ. 111 UNLESS NOTED OTHERWISE. IN ADDITION TO 'CP' DESIGNATION, CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.

JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

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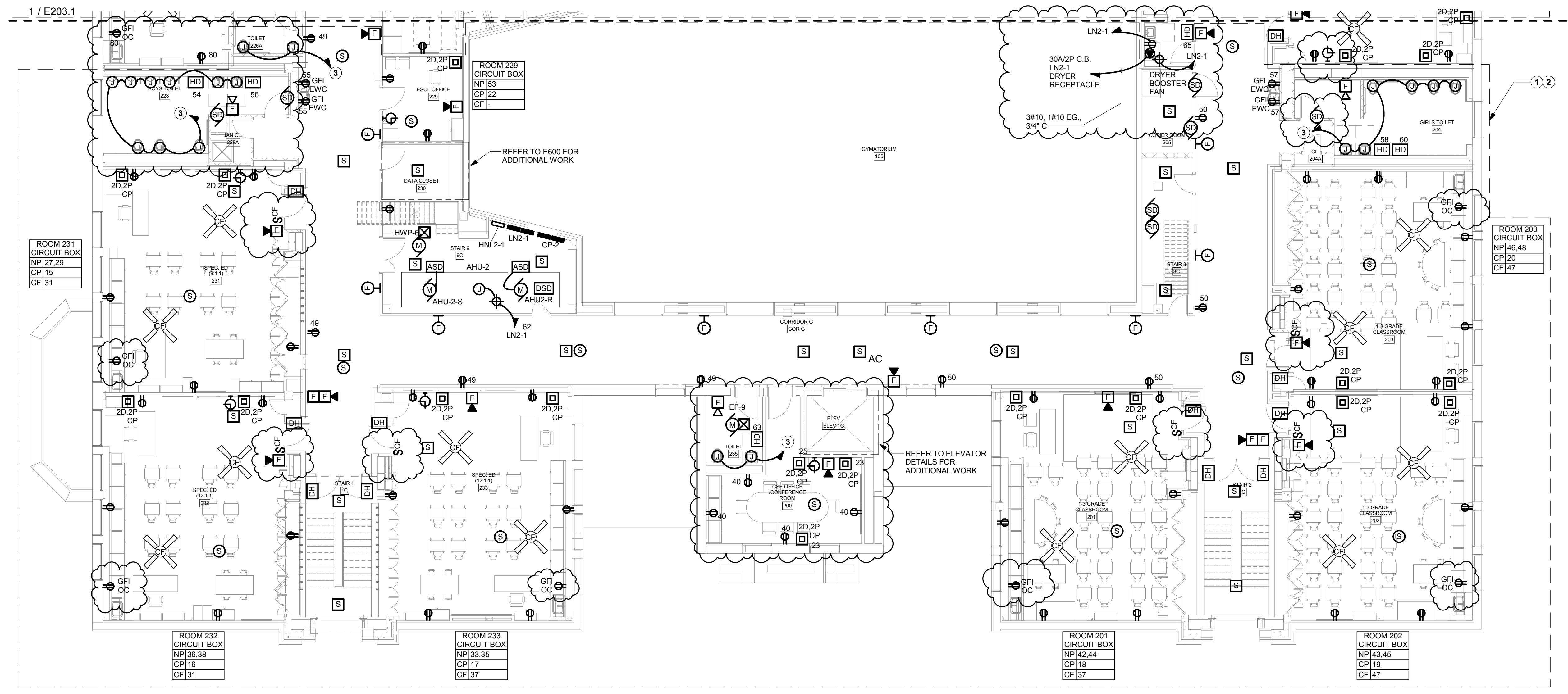
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DRAWING TITLE

**SECOND FLOOR
PLAN - A/B - POWER
AND SS**

E203.1

ISSUED FOR BIDDING



1 SECOND FLOOR PLAN - C - POWER AND SS
1/8" = 1'-0"

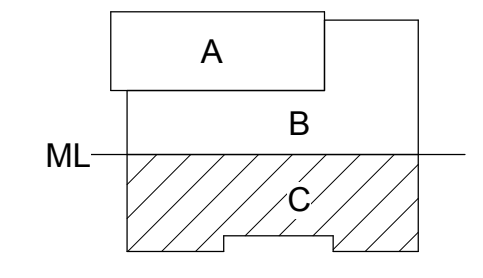
E203.2 DRAWING NOTES

- 1 PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) SHOWN IN THIS AREA FROM PANEL LN2-1 IN STORAGE ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 2 PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES IN THIS AREA FROM PANEL CP-2 IN STORAGE ROOM 9C UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS 'CP' ADJACENT TO EACH WIRING DEVICE AND INDICATED IN ROOM CIRCUIT BOX. MAXIMUM OF 4 RECEPTACLES PER CIRCUIT.
- 3 INSTALL LOW VOLTAGE TRANSFORMER ABOVE ACCESSIBLE CEILING SPACE IN TOILET ROOM. PROVIDE POWER CONNECTION TO THE TRANSFORMER USING A DEDICATED 120V, 20A NORMAL BRANCH CIRCUIT AND HOME RUN FROM PANEL LN2-1 UNLESS OTHERWISE NOTED. REFER TO PLUMBING DRAWINGS FOR ADDITIONAL INFORMATION AND QUANTITIES OF THE LOW VOLTAGE TRANSFORMERS

E203.2 GENERAL NOTES

- A. REFER TO DRAWING E600 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.
- B. ALL CEILING FANS SHALL BE MOUNTED SUCH THAT THE BOTTOM OF THE CEILING FAN IS AT 7'-8" AFF.
- C. COORDINATE ALL WALL MOUNTED DEVICES IN GYM WITH WALL PADDING AND G.C. G.C. TO CUT AND PREPARE ALL PADDING TO ACCOMMODATE DEVICES.
- D. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES AND CEILING FANS (CF) INDICATED ON DRAWINGS FROM PANEL LN2-1 IN STORAGE ROOM 9C UNLESS OTHERWISE INDICATED. CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.
- E. FOR ROOMS THAT DO NOT HAVE A "CIRCUIT BOX" PROVIDE 120V CLEAN POWER (CP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE CLEAN POWER RECEPTACLES INDICATED ON DRAWING FROM PANEL CP-2 IN STORAGE ROOM 9C UNLESS NOTED OTHERWISE. IN ADDITION TO 'CP' DESIGNATION, CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.

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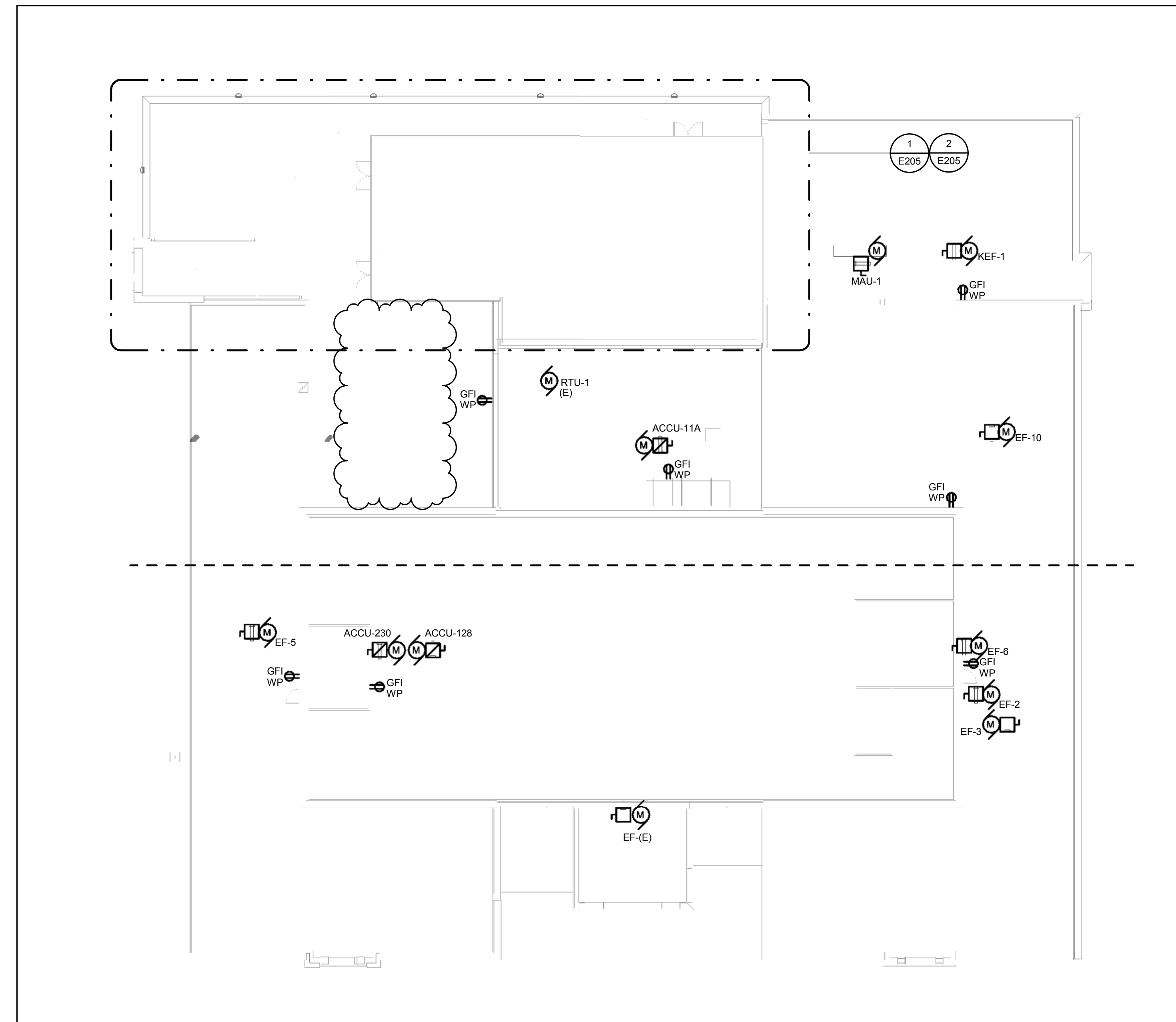
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DRAWING TITLE

**SECOND FLOOR
PLAN - C - POWER
AND SS**

E203.2

ISSUED FOR BIDDING



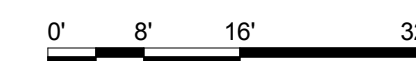
E204 GENERAL NOTES

- A. REFER TO DRAWING E-000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS.

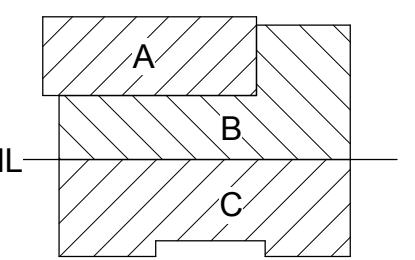
E204 DRAWING NOTES

- ① PROVIDE LIGHTING PROTECTION SYSTEM FOR THE ENTIRE BUILDING, INCLUDING ALL ROOFTOP EQUIPMENT. REFER TO SPECIFICATION SECTION 264113 FOR COMPLETE SCOPE OF WORK. PROVIDE CONCEALED SLEEVES INSIDE OF BUILDING FOR ALL DOWN CONDUCTORS. ALL LIGHTING PROTECTION WORK SHALL BE DESIGNED AND INSTALLED BY CERTIFIED PERSONNEL PER SPECIFICATIONS.

① ROOF PLAN - ELECTRICAL
1/16" = 1'-0"



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DRAWING TITLE

**ROOF PLAN -
ELECTRICAL**

E204

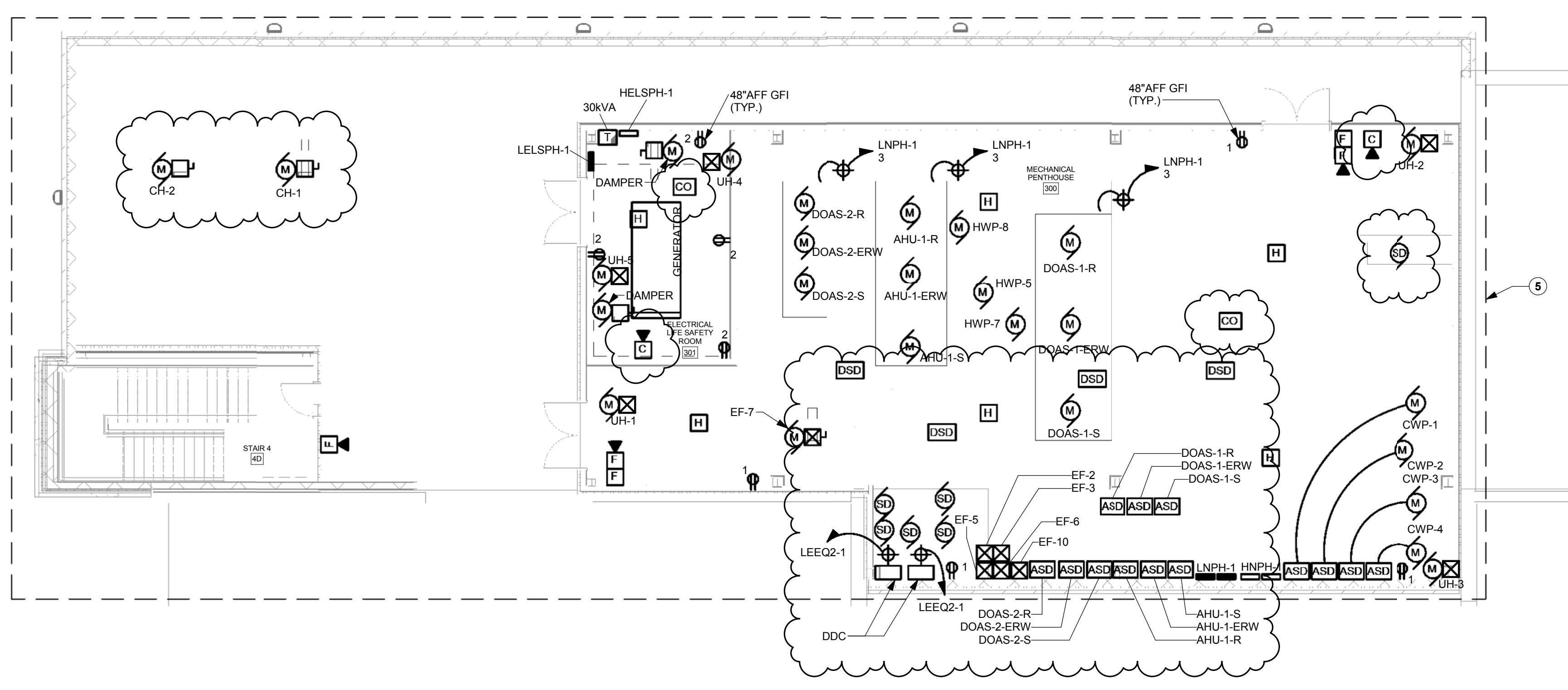
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E205 GENERAL NOTES

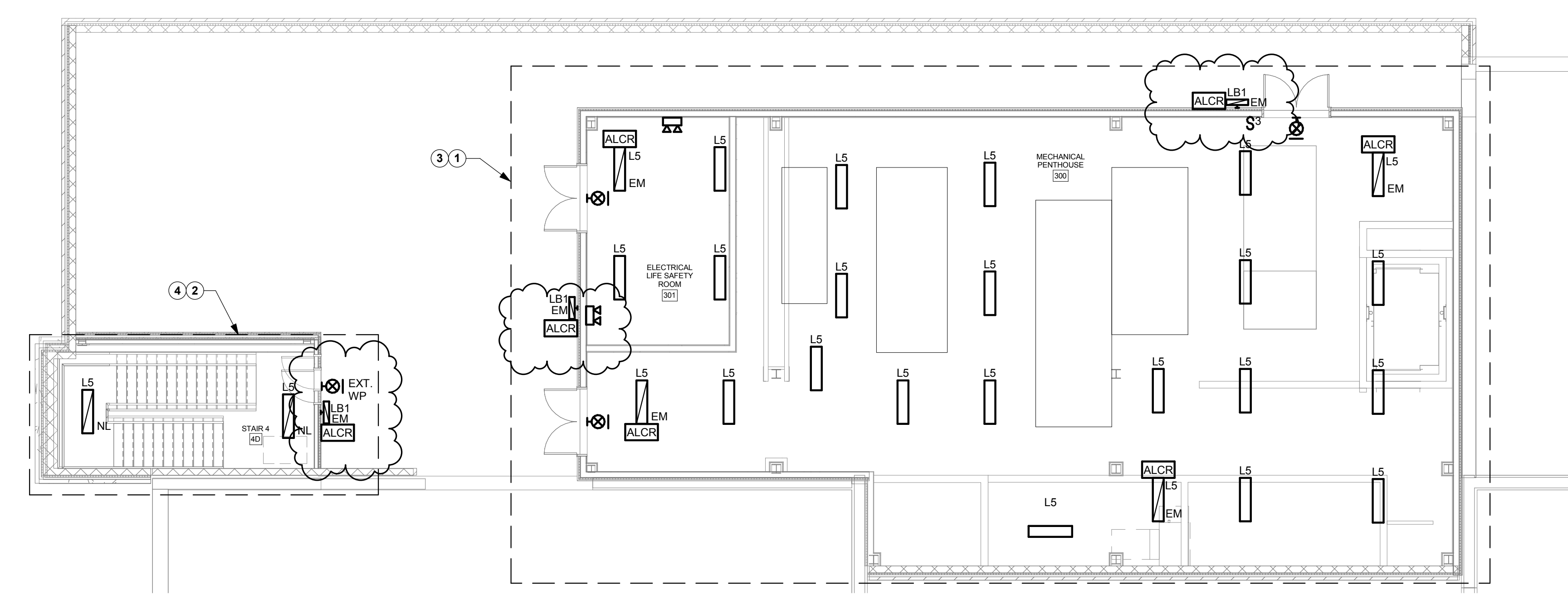
A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS

E205 DRAWING NOTES

- ① PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNPB-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #1. PROVIDE BRANCH CIRCUIT USING 2#10, 1#10EG, 3/4" C
- ② PROVIDE 277V NORMAL POWER LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR LIGHT FIXTURES IN THIS AREA FROM PANEL HNPB-1 LOCATED IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #2. PROVIDE BRANCH CIRCUIT USING 2#10, 1#10
- ③ PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN ROOM 301 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #1. PROVIDE BRANCH CIRCUIT USING 2#10, 1#10EG, 3/4" C
- ④ PROVIDE 277V UNSWITCHED EMERGENCY LIGHTING BRANCH CIRCUIT(S) AND HOME RUNS FOR EXIT LIGHT FIXTURES ON THIS DRAWING FROM PANEL HELSPH-1 LOCATED IN ROOM 301 UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED AS #3. PROVIDE BRANCH CIRCUIT USING 2#10, 1#10EG, 3/4" C
- ⑤ PROVIDE 120V NORMAL POWER (NP) BRANCH CIRCUITS AND HOME RUNS FOR GENERAL PURPOSE RECEPTACLES SHOWN IN THIS AREA FROM PANEL LNPH-1 IN PENTHOUSE UNLESS OTHERWISE NOTED. CIRCUIT NUMBER SHALL BE DESIGNATED NEXT TO DEVICE.



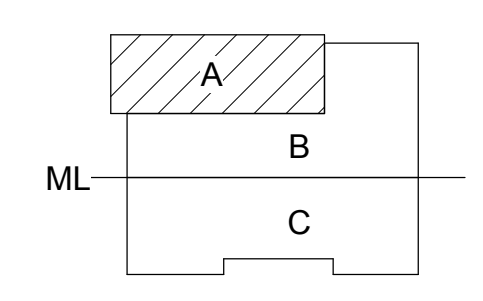
① PENTHOUSE PLAN-POWER & SS
1/8" = 1'-0"



② PENTHOUSE PLAN-LIGHTING
1/8" = 1'-0"



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DRAWING TITLE

PENTHOUSE PLAN - ELECTRICAL

E205

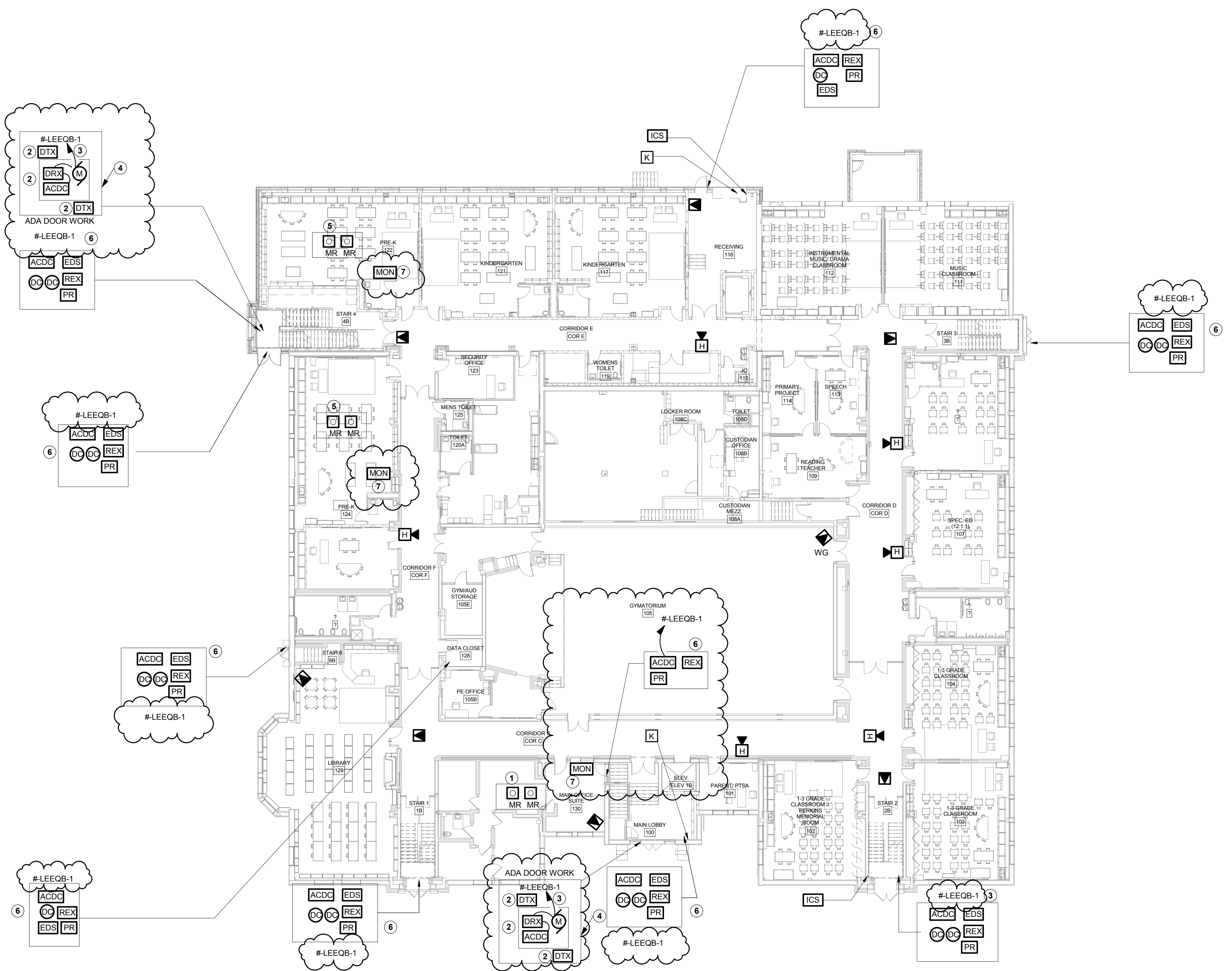
ISSUED FOR BIDDING

E302 GENERAL NOTES

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS
- B. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALL ARE FISHABLE THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED
- C. ALL TELECOMMUNICATIONS WORK TO BE DONE AS PART OF THE DWT CONTRACT. THIS INCLUDES BUT IS NOT LIMITED TO THE FOLLOWING:
-DATA
-VOICE
-IP CCTV
-AV CABLING AND EQUIPMENT
-MONITORS
-WIRELESS ACCESS POINTS
- D. PATHWAYS AND CONDUIT(S) REQUIREMENTS ARE PART OF THE E.C. SCOPE. POWER BY THE E.C. ALL POWER TO DATA CLOSETS TO BE CONNECTED TO EMERGENCY POWER. REFER TO DWT (T-SERIES DRAWINGS) FOR ADDITIONAL WORK.
- E. ACCESS CONTROL, AUDIO ENTRY AND INTRUSION DETECTION SCOPE IS BY THE E.C. REFER TO DRAWING T301 FOR IP CCTV CAMERA LOCATIONS AND QUANTITIES

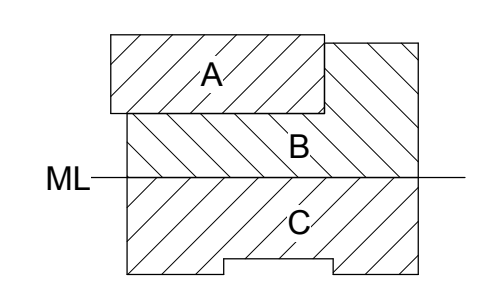
E302 DRAWING NOTES

- 1 AT TWO (2) EXTERIOR DOORS NEAR MAIN OFFICE. PROVIDE MANUAL RELEASE BUTTONS. ALL WIRING AND CONNECTIONS TO ACCESS CONTROL SYSTEM TO RELEASE DOORS IN THE EVENT THE PHONE IS BEING USED.
- 2 EQUIPMENT TO BE FURNISHED BY G.C.
- 3 PROVIDE ONE (1) 20A, 120V HOMERUN FOR BOTH AUTOMATIC DOOR OPERATOR MOTORS AND POWER SUPPLY. PROVIDE CONTROL BRANCH CIRCUITING AND CONNECTIONS PER MANUFACTURERS RECOMMENDATIONS BETWEEN POWER SUPPLY, RECEIVER, AND DOOR OPERATORS
- 4 PROVIDE ONE (1) 20A, 120V HOMERUN FOR POWER SUPPLY. PROVIDE CONTROL BRANCH CIRCUITING AND CONNECTIONS TO ACCESS CONTROL SYSTEM TO RELEASE DOORS FROM THE PRE-K ROOMS.
- 5 AT TWO (2) EXTERIOR DOORS NEAR STAIR 4. PROVIDE MANUAL RELEASE BUTTONS. ALL WIRING AND CONNECTIONS TO ACCESS CONTROL SYSTEM TO RELEASE DOORS FROM THE PRE-K ROOMS.
- 6 PROVIDE ALL BRANCH CIRCUITING AND CONTROL WIRING BETWEEN PROXIMITY READER, ELECTRIC DOOR STRIKE AND DOOR POWER SUPPLY. PROVIDE HOMERUN AND CONNECT TO FANIC INDICATED.
- 7 PROVIDE POWER BRANCH CIRCUITING AND RECEPTACLE TO ACCOMMODATE MONITORS. REFER TO CCTV RISER FOR ADDITIONAL INFORMATION.



1 FIRST FLOOR PLAN - SECURITY
1/16" = 1'-0"

JEFFERSON TERRACE



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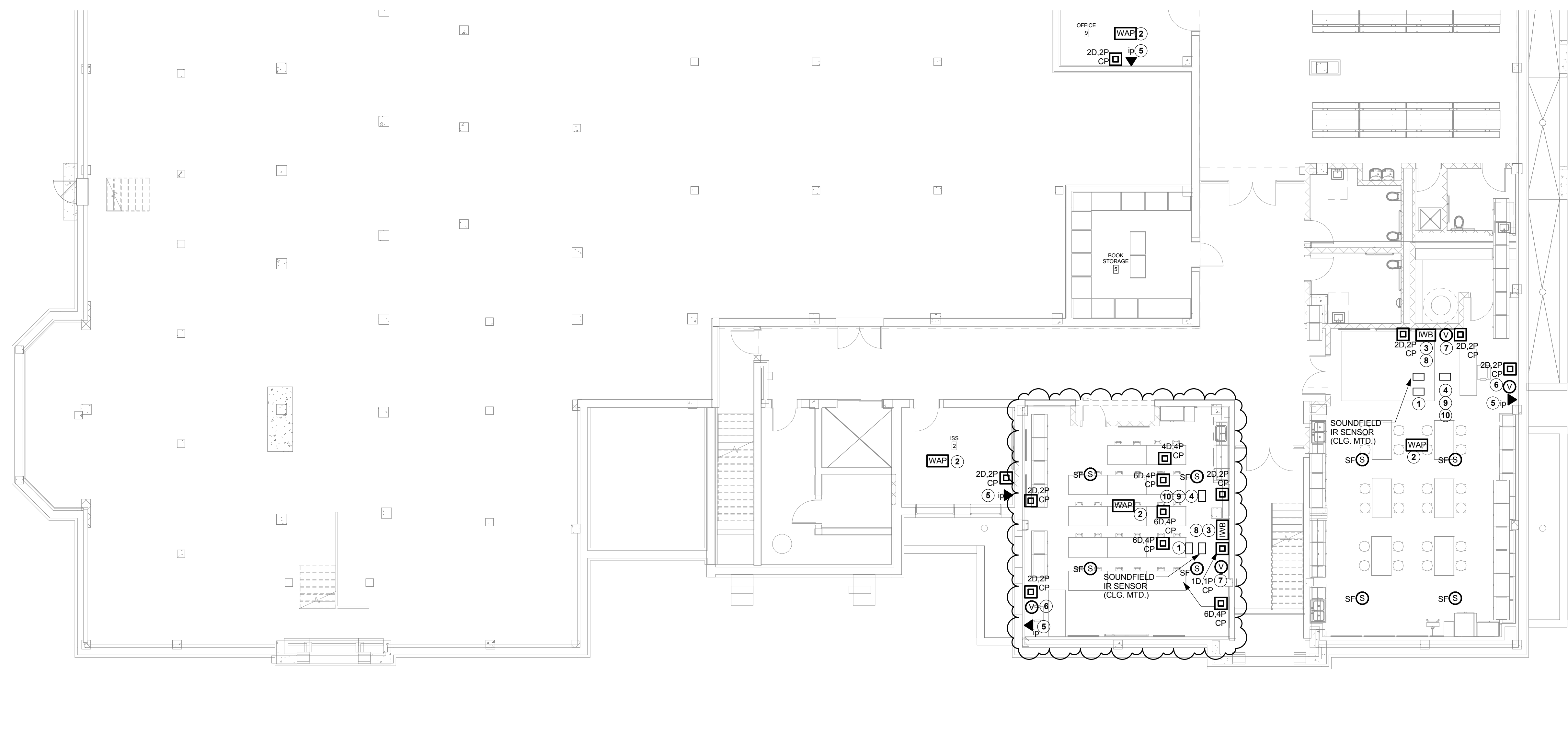
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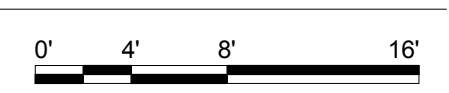
FIRST FLOOR PLAN - SECURITY

E302

ISSUED FOR BIDDING



1 BASEMENT PLAN - C - DWT
1/8" = 1'-0"



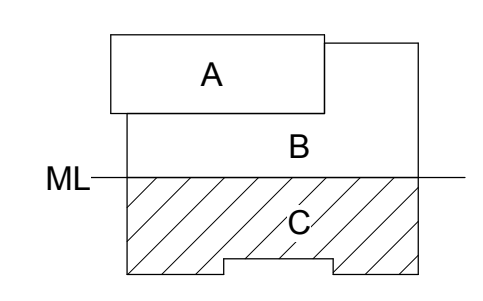
T201.2 GENERAL NOTES

- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS
- B. PROVIDE, ROUTE, AND TERMINATE ALL UTP DATA CABLING ON THIS DRAWING TO IDF, CER XX, ROOM XXXX
- C. COORDINATE LOCATION OF EQUIPMENT WITH ELECTRICAL/POWER DRAWINGS AND DEVICES.
- D. REFER TO ELECTRICAL DRAWINGS FOR NORMAL AND CLEAN DUPLEX RECEPTACLE LOCATIONS AND QUANTITIES.
- E. ROUTE ALL UTP CABLING ABOVE CEILINGS IN CLASSROOMS, COORDINATE ROUTING PATH WITH ALL CONTRACTORS PRIOR TO INSTALLATION.
- F. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALL ARE FISHABLE THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE, ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION

T201.2 DRAWING NOTES

- 1 SOUND FIELD AMPLIFIER. PROVIDE COMPLETE SOUND FIELD SYSTEM. LOCATE IN CABINETRY. PROVIDE RCA LEFT AND RIGHT CABLES FROM SOUND FIELD TO IWB.
- 2 PROVIDE WIRELESS ACCESS POINT AND CAT 6A UTP CABLING.
- 3 PROVIDE NEW IWB WITH PROJECTOR AS INDICATED
- 4 PROVIDE NEW ALL IN ONE COMPONENT/EQUIPMENT TO ALLOW FOR COMPLETE CONNECTIVITY IN ROOM THRU IWB.
- 5 PROVIDE NEW VOIP HANDSET PER SPECIFICATIONS
- 6 PROVIDE MULTIMEDIA OUTLET AT TEACHER'S DESK WITH TWO (2) HDMI JACKS AND ONE (1) VGA JACK AND ASSOCIATED CABLES. AT TEACHER'S DESK MULTIMEDIA OUTLET PROVIDE THE FOLLOWING: PROVIDE ONE (1) HDMI CABLE FROM TEACHER'S DESK TO IWB FOR TEACHER'S COMPUTER. PROVIDE ONE (1) HDMI CABLE FROM ALL IN ONE COMPUTER TO IWB. PROVIDE ONE (1) VGA FROM TEACHER'S DESK TO IWB
- 7 PROVIDE ALL ASSOCIATED IWB CABLES NOTED IN DRAWING 6 TO THIS MULTIMEDIA OUTLET LOCATION.
- 8 PROVIDE RCA L/R CABLES FROM IWB TO SOUNDFIELD AMPLIFIER.
- 9 PROVIDE 3.5 MM CABLES FROM ALL IN ONE COMPUTER TO AOUND FIELD AMPLIFIER.
- 10 PROVIDE USB CABLE FROM ALL IN ONE COMPUTER TO IWB.

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CHECKED BY	Checker

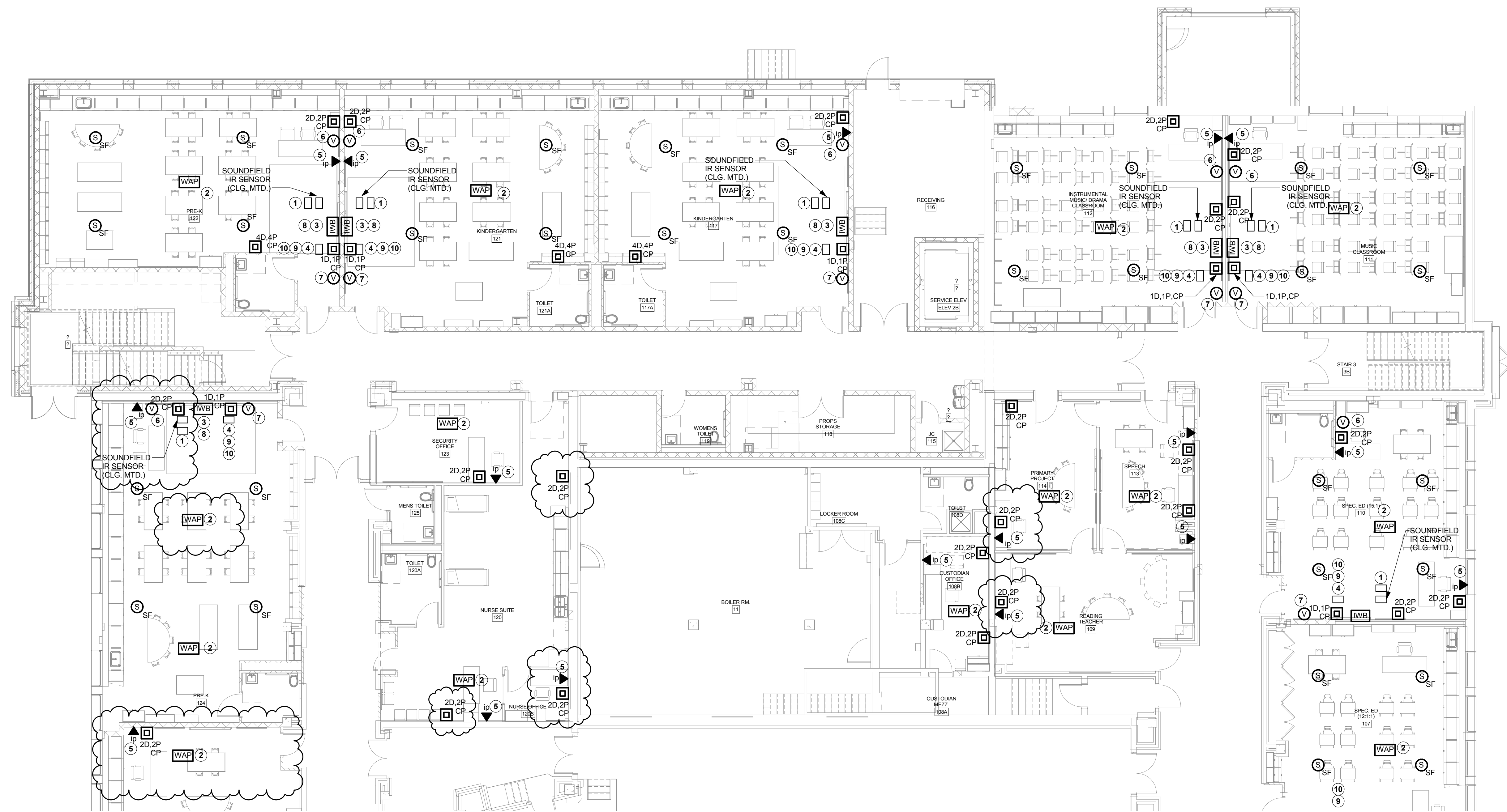
THIS IS A SINGLE SHEET OF A COHESIVE SET OF CONSTRUCTION DOCUMENTS (INCLUDING DRAWINGS AND SPECIFICATIONS). INTERPRETATION OF THE INFORMATION AS PRESENTED SHOULD BE BASED ON THE ENTIRE SET OF DOCUMENTS.

DRAWING TITLE

**BASEMENT PLAN - C
- DWT**

T201.2

ISSUED FOR BIDDING



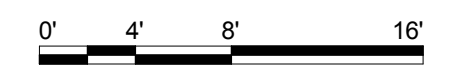
1 FIRST FLOOR PLAN - A/B - DWT
1/8" = 1'-0"

T202.1 GENERAL NOTES

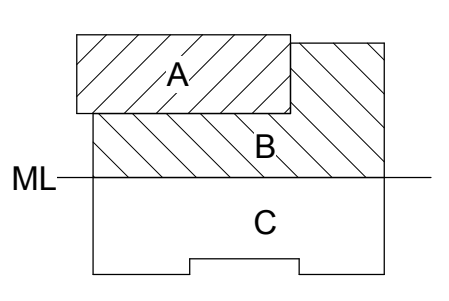
- A. REFER TO DRAWING E000 FOR GENERAL NOTES THAT PERTAIN TO ALL ELECTRICAL DRAWINGS
- B. PROVIDE, ROUTE, AND TERMINATE ALL UTP DATA CABLING ON THIS DRAWING TO IDF, CER XX, ROOM XXXX
- C. COORDINATE LOCATION OF EQUIPMENT WITH ELECTRICAL/POWER DRAWINGS AND DEVICES.
- D. REFER TO ELECTRICAL DRAWINGS FOR NORMAL AND CLEAN DUPLEX RECEPTACLE LOCATIONS AND QUANTITIES.
- E. ROUTE ALL UTP CABLING ABOVE CEILINGS IN CLASSROOMS, COORDINATE ROUTING PATH WITH ALL CONTRACTORS PRIOR TO INSTALLATION.
- F. PER THE CONTRACT DOCUMENTS ALL BRANCH CIRCUITING AND HOME RUNS ARE TO BE CONCEALED WHERE POSSIBLE PER GENERAL NOTES AND SPECIFICATIONS. IF WALL ARE FISHABLE THEN THE BRANCH CIRCUITING AND HOMERUNS SHALL BE CONCEALED. CONDUIT SHALL NOT BE USED IN FINISHED AREAS. ALL VERTICAL AND HORIZONTAL RACEWAYS INSTALLED IN FINISHED AREAS WHERE CONCEALMENT IS IMPOSSIBLE, ARE TO BE LOCATED AND INSTALLED IN AN INCONSPICUOUS FASHION AND APPROVED BY THE ARCHITECT AND ENGINEER PRIOR TO INSTALLATION. COORDINATE ALL SURFACE RACEWAY INSTALLATION AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO INSTALLATION

T202.1 DRAWING NOTES

- 1. SOUND FIELD AMPLIFIER. PROVIDE COMPLETE SOUND FIELD SYSTEM. LOCATE IN CABINTRY. PROVIDE RCA LEFT AND RIGHT CABLES FROM SOUND FIELD TO IWB.
- 2. PROVIDE WIRELESS ACCESS POINT AND CAT 6A UTP CABLING.
- 3. PROVIDE NEW IWB WITH PROJECTOR AS INDICATED
- 4. PROVIDE NEW ALL IN ONE COMPONENT/EQUIPMENT TO ALLOW FOR COMPLETE CONNECTIVITY IN ROOM THRU IWB.
- 5. PROVIDE NEW VOIP HANDSET PER SPECIFICATIONS
- 6. PROVIDE MULTIMEDIA OUTLET AT TEACHER'S DESK WITH TWO (2) HDMI JACKS AND ONE (1) VGA JACK AND ASSOCIATED CABLES. AT TEACHER'S DESK MULTIMEDIA OUTLET PROVIDE THE FOLLOWING: PROVIDE ONE (1) HDMI CABLE FROM TEACHER'S DESK TO IWB FOR TEACHER'S COMPUTER. PROVIDE ONE (1) HDMI CABLE FROM ALL IN ONE COMPUTER TO IWB. PROVIDE ONE (1) VGA FROM TEACHER'S DESK TO IWB
- 7. PROVIDE ALL ASSOCIATED IWB CABLES NOTED IN DRAWING NOTE 6 TO THIS MULTIMEDIA OUTLET LOCATION.
- 8. PROVIDE RCA I/R CABLES FROM IWB TO SOUNDFIELD AMPLIFIER.
- 9. PROVIDE 3.5 MM CABLES FROM ALL IN ONE COMPUTER TO SOUND FIELD AMPLIFIER.
- 10. PROVIDE USB CABLE FROM ALL IN ONE COMPUTER TO IWB.



JEFFERSON TERRACE



DR. SAMUEL MCCREE WAY

KEY PLAN

SED # 26-16-00-01-0-004-024
DWT SED #
26-16-00-01-7-999-020

Rochester Schools Modernization Program
-Phase 2c
George M. Forbes - Renovation, Alterations
and Addition

198 Dr Samuel McCree Way,
Rochester, NY 14611

REV. #	DESCRIPTION	DATE
1	ADDENDUM 1	4/25/18
2	ADDENDUM 2	5/04/18

JOB NO.	1711
SCALE	AS NOTED
ISSUE DATE	4/9/18
DRAWN BY	Author
CHECKED BY	Checker

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DRAWING TITLE

FIRST FLOOR PLAN - A/B - DWT

T202.1

ISSUED FOR BIDDING